

**Request for Proposals to Provide
Feasibility Study & Architectural &
Engineering (A/E) Services**

For:

**Allen Township
Facilities Study**



Sealed proposals shall be delivered to:
Allen Township Municipal Building, 4714 Indian
Trail Road, Northampton, PA 18067
Phone: (610) 262-7012 ext. 102

***Submissions must be received
NO LATER THAN
June 22, 2022 @ 1PM***

Allen Township (“ATWP” or “Owner”) invites professional Firms licensed to do business within the Commonwealth of Pennsylvania to submit Proposals to provide services requested by the Township. ATWP plans to review their township administrative and public works buildings to develop a comprehensive facilities improvement plan.

A. Background and Project Overview

Allen Township (“ATWP” or “Owner”) invites professional Firms licensed to do business within the Commonwealth of Pennsylvania to submit Proposals to provide services requested by the Township. ATWP plans to review their township administrative and public works buildings to develop a comprehensive facilities improvement plan.

Allen Township currently owns two sites, which are currently utilized for administration, public works, and public meeting spaces. The existing site locations, current utilization of space and anticipated future space needs are summarized for each individual site below. The proposals shall address both sites and include the repurpose/alteration/new construction alternatives for the existing facilities to modernize the overall operations of the Township.

I. Property #1 - 4714 Indian Trail Road, Northampton PA: This property is located in the northern portion of the Township and is centrally located on Indian Trail Road (State Route #3016), which is classified as an arterial road). This acre site is contained in three parcels (Tax Map Parcels: K4-19-6; K4-19-2F; and K4-19-2J) and contains approximately 4.73 acres. The property is split between the Neighborhood Commercial and Rural Zoning Districts, which allows for Public Municipal Buildings and Facilities use as a permitted use. This site is serviced by on-lot water and sewer facilities.

This site is currently houses the main Administrative Offices of the Township, as well as the Public Works Department. Following is a summary of the current structures on the property, recap of current utilization and potential future utilization needs:

a. **Building #1 - Main Administrative Office:** The Main Administrative Office consists of a one story, 3,798 square feet building footprint masonry structure (a combination of brick, Dryvit over brick and natural stone). This structure was previously utilized as a public school building, with original construction estimated in 1888, pursuant to date stone. The structure was modified over the years, as a school, with several additions and then converted to a Municipal Building following the School Districts conveyance of the property to the Township in 1966. The building provides for day-to-day administrative functions of the Township.

Currently, three full-time and one part-time staff are located in this building, with plans to expand staff pursuant to the bulleted list below within the next few years. Public meetings are **not** currently held at this location, as the size of the space was determined inadequate during the COVID19 pandemic. Following return to in-person public meetings in 2021 - meetings were relocated to the newly acquired 3530 Howertown Road property on a permanent basis.

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FACILITIES STUDY**

Future space needs for the administrative and public meeting (including a polling location) functions conceptually anticipate as follows and anticipate that these functions will be relocated to the property owned by Allen Township at 3530 Howertown Road, Northampton, PA:

- * Vestibule
- * Lobby
- * Receptionist
- * Small Conference/Training Room
- * Community Room (Convertible for Polling)
- * Meeting Room (Convertible for Polling)
- * Township Managers Office
- * Assistant Township Managers Office
- * Township Secretary Office
- * Township Treasurers Office & Secure File Closet
- * Tax Collector/Utility Billing Office
- * Codes Admin/Zoning Officer
- * Emergency Operations Office
- * Multipurpose – Aux Office Space (Extra Room(s) for future needs)
- * Copy/IT Infrastructure Space
- * File/Map Room

b. Building #2 – Main Garage Bays/Equipment Repair/Anti-Skid Load out Dock:
The Main Garage Bays/Equipment Repair/Anti-Skid Load out Dock consists of a one-story structure with limited internal mezzanine area. The footprint of the structure is 8,809 square feet and is constructed of a combination of block and poured masonry material. This structure was constructed in three segments over the built in add on fashion between the 1960's and 1990's. The building currently provides for: the main reporting/job assignment/break area for the crew, garages the Township's main fleet of single axel and tandem dump trucks, equipment repair area, material and tool storage areas (including traffic signage materials) are housed within this structure.

Currently, six full time and three seasonal part time staff are located in this building, with plans to the potential to expand staff. Future space needs for the staff and equipment inventory with some level of expansion overall public work are anticipated within the next five years.

c. Building #3 – Equipment Storage Building: The Equipment Storage Building consists of a one-story metal pole building, constructed in two segments in 2008 and 2012 respectfully. The overall structure footprint is 9,900 square feet. Centrally located to this structure are several outside storage material bins (stone, clean fill, stormwater pipe). This structure houses many items from the Equipment inventory list, which are "specific to task" items such as the street sweeper, mowers, tractors, trailers, chipper, Gradall, paving machine. Additionally, this building houses an inventory of supplies such as herbicides, palletized packaged materials, e/s control, sanitary sewer, etc.

d. Building #4 – Salt Shed: The overall structure footprint is 2,880 square feet. The open sided structure was constructed in 2020. This structure is utilized for the sole purpose of road salt storage and was constructed for this specific purpose.

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II. Property #2 – 3530 Howertown Road, Northampton PA: This property is located in the northern portion of the Township (approximately 1.14 miles south of Property #1).

This property fronts on two public roads. The primary access utilized by the Fire Company is Howertown Road (State Route # 3017), which is classified as an arterial road. The primary access utilized for Township purposes is Snow Hill Road (Township Route #472). This acre site is contained in one parcel (Tax Map Parcels: K4-29-7) and contains approximately 8.78 acres. The property is located in the Low Density Zoning District, which allows for Public Municipal Buildings and Facilities use as a permitted use. This site is serviced by on-lot sewer and public water facilities.

The Township acquired ownership of the parcel and existing structure (approximate structure footprint 9,700 square feet – two stories) from the Allen Township Volunteer Fire Company #1, in August 2021. The existing steel sided/steel superstructure with a poured concrete bank basement (lower level) was constructed in the 1970's. The Township leases the lower level of the building to the Fire Company for garaging fire apparatus and equipment. Currently, the upper level of the structure (the former Social Quarters for the Fire Company) is utilized by the Township for the purpose of public meetings, staff meetings and providing a polling location for elections. As this acquisition is very recent, these activities occur in an “improvised” setting, as components of the former Social Quarters operation, such as an extensive kitchen area are still in place.

B. PROPOSALS GENERAL INFORMATION

Firms shall mail or deliver **eight (8) hard copies** of Proposal, **one (1) USB** containing an electronic file of the Proposal, and **a separate, sealed** envelope that includes the Fee Submission in the format outlined in this Request for Proposal. Sealed Proposals must be received by ATWP no later than **Wednesday, June 22, 2022, at 1 p.m.** and shall be submitted to:

Ms. Ilene Eckhart, Township Manager
Allen Township
4714 Indian Trail Road
Northampton, PA 18067

C. PROPOSALS

The Proposal shall be submitted in a sealed envelope and must be marked prominently on the outside
“Allen Township Facilities Study”

All Questions concerning this Proposal or project should be submitted in writing to Ilene Eckhart prior to June 8, 2022. An addendum will be issued to all Firms should one be required.

The scope of services desired is defined in the Request for Proposal (RPF). The Township shall have the right to modify this scope, as it deems necessary. The terms of the Agreement between the Township and Professional Firm (Firm) shall be subject to review and modification by the Township Solicitor.

The Firm understands that the Owner is not responsible for any incurred costs in preparing the Proposal, and the Owner reserves the right to negotiate or select a Firm even if the fee is higher. The Owner also

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reserves the unrestricted right to reject any and all Proposals or award only portions of the Proposal to separate Firms, or to waive any informalities or technicalities required for the best interests of ATWP.

It is understood that the Township reserves the right to reject any or all Proposals, or part thereof or items therein and to waive technicalities required for the best interest of the Township. Omission of any information may be sufficient cause for rejection of the Proposal. It is further understood that some of the items that will be considered in selecting a Firm include:

- i. Competency and responsibility of Firms submitting Proposals;
- ii. Past experience with similar municipal projects and references from present and past clients;
- iii. Personnel and consultants assigned to Project and their qualifications;
- iv. Quality of Proposal, clarity and content;
- v. Fees;

It is understood that by requesting this Proposal, the Owner is not incorporating the public bidding process into this solicitation, and nothing contained herein shall create any contractual rights or obligations by and between the Owner and any person or entity responding hereto. The minimum scope of services desired is defined in this Request for Proposal (RFP). The Proposal submitted can identify any additional or recommended services. The Owner shall have the right to modify this scope, as it deems necessary.

D. SELECTION SCHEDULE

The tentative schedule for the selection process is:

- Issue Request for Proposal to Professional Firms **May 13, 2022**
- Mandatory pre-Proposal meeting at building
for walkthrough/questions..... **June 7, 2022 @ 1:00 p.m.**
- Submit all questions **June 9, 2022 by 12:00 p.m.**
- Proposals Due **June 22, 2022 @ 1:00 p.m.**
- Presentation of Proposals and Interview with Township for short-listed Firms **TBD.**
- Approval of Firm **July 2022**
- Completion of Study **October 2022**

The above dates are subject to change at the Owner's discretion.

E. INSTRUCTIONS FOR PREPARING PROPOSAL

Items that will be considered in the evaluation of Proposals and selection of a Firm include:

Proposals shall contain the information listed below and shall be tabbed as follows.

Section 1. Organization, Staffing, and Qualifications:

1. Provide a project team organization chart depicting team members, including consultants such as mechanical, electrical, plumbing, civil, structural, landscaping, technology, etc. with names, titles, and specific responsibilities, resumes and qualifications of team members that will be directly involved in the facilities study.

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2. Provide the address of the specific office, which will have responsibility for performing the work.
3. Provide a brief overview of the Firm including number of years' experience providing architectural / engineering services, particularly specific experience developing facility feasibility studies and any other relative work.
4. Provide a minimum list of 10 public entities which the Firm has completed similar facility studies.
5. A timeline for the completion of various stages or sections should be included.
6. Through narrative discussion, demonstrate the reason(s) why the Firm believes it is especially qualified to undertake this study. Discuss any unique qualifications that the Firm possesses which would benefit the Township in the execution of this facility study.
7. The Firm shall indicate whether, as a single entity or as a member of a joint venture, the Firm has been the subject of any litigation through the discharge of its professional services. If so, provide a detailed description of the litigants, the subject matter, and the disposition of the litigation.

Section 2. Schedule, Plan and Process for Completing Study

1. Provide a schedule for executing the work.
2. Provide the outline of how the study will be conducted.
3. Provide the process for developing cost estimate and experience in preparing the cost estimates.
4. Provide the process for developing the overall final plan.

Section 3. Fee Proposal To be submitted in a separate envelope with the Proposal:

1. The fee Proposal shall include a lump sum compensation and other payments due to the Firm (e.g.: manpower, overhead, profit, direct costs, reimbursable for mileage, phone, etc.) in the performance of the basic services as outlined in this RFP.
2. In addition, the Firm shall list all other anticipated categories of costs such as reimbursables that are not included in the above listed phases. Include your estimated total cost for each category.
3. Include the attached FEE SUBMISSION PAGES, signed and submitted with your Proposal in ***a separate sealed envelope***.
4. Submittal of a Proposal by your Firm shall be representation that you understand the scope of the project.
5. The Firm shall furnish to the Township proof of professional liability insurance in the amount of \$5,000,000 per claim and \$5,000,000 in aggregate with the Township named as certificate holder.

F. BASIC SERVICES

1. The Township intends to develop a facilities improvement plan for the Township's services buildings.
2. The Capital Improvement Study would include the following basic programs of services:

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- a. Conditions Survey: A complete physical survey of all Township facilities including the existing township building, former fire station building and municipal maintenance garage. A standard BUILDING SURVEY FORM will be distributed to each facility supervisor to obtain information from them with regard to operational concerns in the facility. Meetings will also be held with facility personnel and administration to review building concerns. The Owner will make existing drawings, current Roof Warranty information, any other building and site system information and reports for each facility available to the Firm for use in performing the condition surveys and preparation of the Capital Improvement Plan. The following will be included in the survey:
 - i. Building Exterior
 - ii. Building Interior
 - iii. Site
 - iv. Site utilities including onsite septic and water systems
 - v. Electrical
 - vi. HVAC
 - vii. Plumbing
 - viii. ADA Conformance
 - ix. Security
 - x. Fire Alarm
 - xi. Identify structural deficiencies
 - xii. Environmental assessment of each facility
 - xiii. Building and system conformance with current building codes
- b. Space Utilization: The review of how the existing facilities are currently being used with respect to size, function and efficiency. At a minimum, the following spaces will be included in the survey and space planning:
 - i. Public meeting spaces
 - ii. Administrative meeting spaces
 - iii. Administrative offices
 - iv. File storage, mail, copy, IT hub infrastructure spaces
 - v. Multi-purpose room
 - vi. Public Works Equipment Maintenance areas
 - vii. Public Works Garages
 - viii. Outside public works material storage areas and limited areas of public access
 - ix. Fire station bays and offices for operations
- c. Reconstruction and Repair Recommendations: A priority schedule using a logic matrix will be used to assign priorities to the recommendations. The matrix will be reviewed with the Township personnel with final priorities determined by the Township. This information will be compiled into a suitable spreadsheet.
- d. Provide assessment of energy savings opportunities and LEED requirements for any recommendations.
- e. Develop and provide a minimum of two (2) conceptual designs and potential options and costs to address the Township needs to efficiently utilize their facilities and develop a 5-year Capital Plan including phasing required to maintain the Township's current operations.
- f. Conduct meetings and workshops to review the options and plans and obtain stakeholder feedback.

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- g. Report Preparation and Cost Estimate: The results of the surveys and interviews will be tabulated on master schedule, which will identify and quantify all conditions on a graded basis. Cost estimates for Capital Improvements, reconstruction and upgrading of present facilities will be provided. Provide assessment of municipal approval requirements. After completion of the above phases, all data will be combined into a report for each of the facilities. The final compilation will then be placed into a comprehensive Capital Improvement Plan with the focus on developing a Township wide improvement plan for their facilities.

G. ADDITIONAL SERVICES

Additional Services as agreed to by the Township and Firm shall be provided after written authorization.

PROVIDE IN A SEPARATE ENVELOPE

REQUEST FOR PROPOSAL FORM

**ALLEN TOWNSHIP
FACILITIES STUDY SERVICES**

1. The undersigned has verified that the fee submitted in accordance with the RFP is complete and understands that the Owner will not be responsible for any errors or omissions on the part of the undersigned in preparing this Proposal.
2. In submitting this Proposal, it is understood that the right is reserved by the Owner to reject any or all Proposals and waive all informalities in connection herewith.
3. The undersigned declares that the person or persons signing this Proposal is/are fully authorized to sign on behalf of the Firm listed and to fully bind the Firm listed to all the Proposal's conditions and provisions thereof.
4. The undersigned understands and agrees that by requesting Proposals, the Owner is not incorporating the public bidding process into the solicitation; that the Owner has full and complete discretion to reject or accept any Proposal for any reason; and that nothing contained in the RFP shall create any contractual rights or obligations by and between the Owner and any person or entity responding hereto.
5. The undersigned understands and agrees that any Firm that attempts to influence a Township official to award the Agreement to such Proposer's Firm by promising to provide or by providing to such Township official any gratuity, entertainment, commission, or any other gift, in exchange for a promise to award the Agreement to such Firm shall be disqualified from further consideration of award of this Agreement and shall be subject to any applicable penalties under the law.

Name of Firm

Contact Person

Street Address

City, State, Zip Code

Date

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This Proposal is submitted to Allen Township (ATWP) in accordance with your “***Proposal for Facilities Study Services for Allen Township***”. The undersigned proposes to furnish said services as listed in the Request for Proposal and Agreement.

FEE:

Conditions Survey _____

Space Utilization _____

Reconstruction & Repair Recommendations _____

Conceptual Design, Options and Costs for 5-year Plan _____

Energy Savings _____

Report Preparation _____

Presentation _____

Person(s) to be contacted should clarification of any part of this Proposal be necessary:

Name (Print or Type)

Telephone Cellular E-Mail

Signature

Firm shall fill out and return Pages 5 through 6 and submit these pages **in a SEPARATE ENVELOPE FROM THE PROPOSAL**.

EXHIBITS

- 1. Property Report Card Reports from Northampton County Assessment Office records**
- 2. Addition to Township Maintenance Building Drawings (Cowan Associates) 1983**
- 3. PennDOT Highway Occupancy Plan Municipal Building Driveway (Hanover Engineering) 1999**
- 4. Allen Township Meeting Room Security Drawing (Barry Isett & Associates), 2018**
- 5. Allen Township Municipal Lot Expansion Drawing (Hanover Engineering), 2003**
- 6. Allen Township Grading Plan for Salt Shed (Barry Isett & Associates), 2019**
- 7. 2021 Allen Township Public Works Equipment Inventory**
- 8. Allen Township Fire Co/Allen Township Lease Agreement, 2021**

1.

Property #1 - PARCEL 1/3

Northampton County

Property Report Card

Assessment Office

Profile

Parcel:	K4 19 6 0501E	Land Use Code:	993
Address:	4714 INDIAN TRAIL RD	LUC Description:	governmental (local municipality)
Owner Details:	ALLEN TOWNSHIP	Municipality:	ALLEN TOWNSHIP
		NBHD:	C276
		School District:	NORTHAMPTON SCHOOL DIST
Mailing Address:	4714 INDIAN TRAIL RD	Zoning:	V-C
	NORTHAMPTON PA 18067	Land Acres:	1.38
		Street/Road:	UNIMPROVED
		Topography:	LEVEL
		Utilities	ALL PUBLIC

Value Summary

Appraised Land:	63,000	Assessed Land	31,500
Appraised Building:	213,600	Assessed Building	106,800
Appraised Total:	276,600	Assessed Total	138,300

Primary Residential Card

Card:	1	Basement:		Fireplace Prefab:	
Stories:		Square Feet:		Fireplace Opening:	
Style:		HT/AC:		Fireplace Stacks:	
Year Built:		Fuel:		Basement Garage:	
Year Remod.		System:		Grade:	
Total Rooms:		Attic:		Cond (CDU):	
Bedrooms:		Rec Room Area:		Percent Complete:	
Full Bath:		Finished Basement Area:		Family Room:	
Half Bath:				Ext. Material:	

Commercial Card

Year Built	1888	Improvement Name:	ALLEN TOWNSHIP MUNCI
Units	0	Gross Floor Area:	5017
Grade:	C		

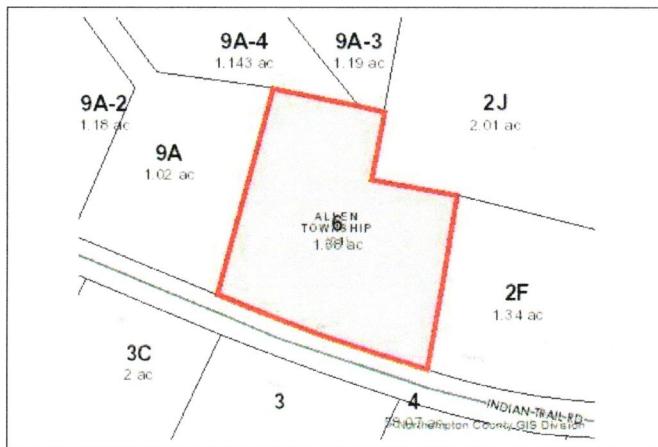
Other Items

Code Description	Yr Blt	Sq Ft
Code Description		

Sales History

Date	Book-Page	Grantor	Sale	Desc	Parcels	Amount
1/1/1979	281--000434		D	HISTORICAL DEED		

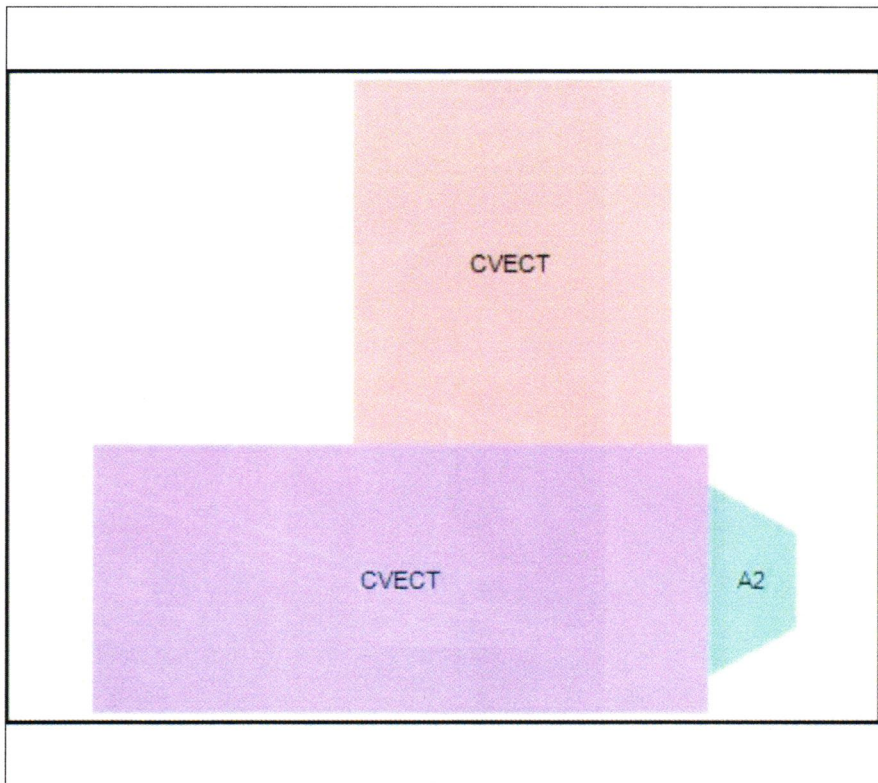
MAP



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SKETCH



Sketch

9 CVECT - CV1:COMMERCIAL VECTOR
 10 CVECT - CV1:COMMERCIAL VECTOR
 11 PORCH, OPEN - RP1:PORCH, OPEN
 135 Sq. Ft.
 1 MLTI STORAGE - 084:MULTI-STRG
 1254 Sq. Ft.
 2 MULT-USE OFC - 082:MULTI OFFICE
 1254 Sq. Ft.
 3 SCL/FRAT HAL -
 064:SOCIAL/FRATERNAL HALL 1792
 Sq. Ft.
 4 MLTI STORAGE - 084:MULTI-STRG
 1792 Sq. Ft.

Property #1 - PARCEL 2/3

Northampton County

Property Report Card

Assessment Office

Profile

Parcel: K4 19 2F 0501E

Address: INDIAN TRAIL RD

Owner Details: ALLEN TOWNSHIP

Mailing Address: 4714 INDIAN TRAIL RD

NORTHAMPTON PA 18067

Land Use Code: 90

LUC Description: Vacant Land

Municipality: ALLEN TOWNSHIP

NBHD: C276

School District: NORTHAMPTON SCHOOL DIST

Zoning: V-C

Land Acres: 1.34

Street/Road: PAVED/SIDEWALK

Topography: LEVEL

Utilities: ALL PUBLIC

Value Summary

Appraised Land: 20,100

Appraised Building: 0

Appraised Total: 20,100

Assessed Land 10,100

Assessed Building 0

Assessed Total 10,100

Primary Residential Card

Card: 0

Stories:

Style:

Year Built:

Year Remod.

Total Rooms:

Bedrooms:

Full Bath:

Half Bath:

Basement:

Square Feet:

HT/AC:

Fuel:

System:

Attic:

Rec Room Area:

Finished Basement Area:

Fireplace Prefab:

Fireplace Opening:

Fireplace Stacks:

Basement Garage:

Grade:

Cond (CDU):

Percent Complete:

Family Room:

Ext. Material:

Commercial Card

Year Built

Units

Grade:

Improvement Name:

Gross Floor Area:

Other Items

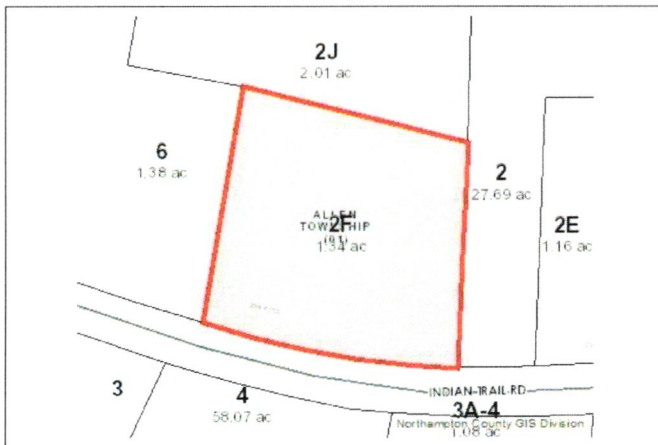
Code Description Yr Blt Sq Ft

Code Description

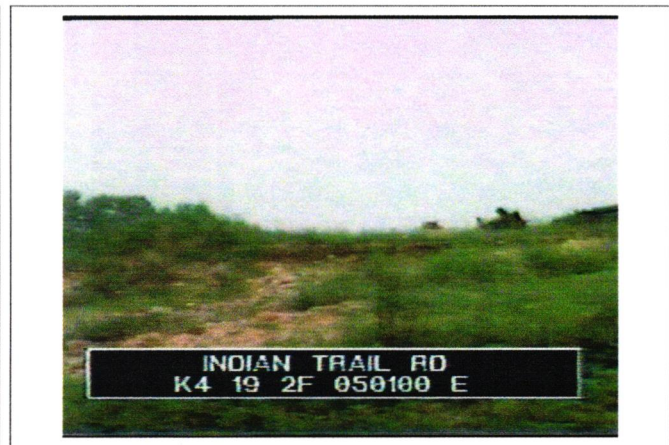
Sales History

Date	Book-Page	Grantor	Sale	Desc	Parcels	Amount
1/1/1979	639--001072		D	HISTORICAL DEED		

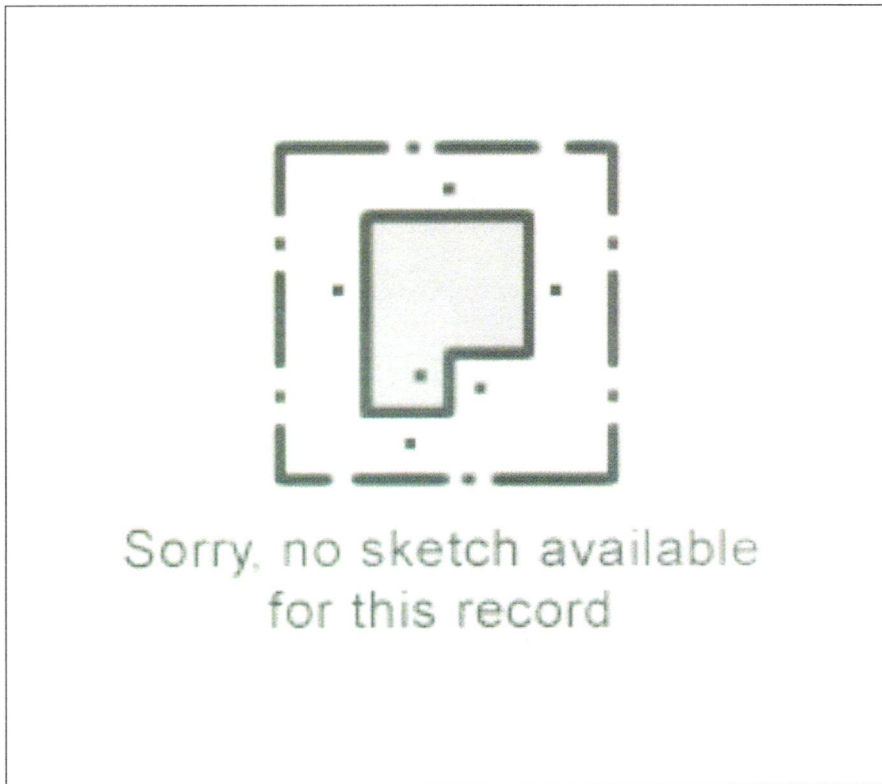
MAP



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SKETCH



Sketch

Property #1-
Parcel 3/3

Profile

Parcel:	K4 19 2J 0501E	Land Use Code:	993
Address:	INDIAN TRAIL RD	LUC Description:	govermental (local municipality)
Owner Details:	ALLEN TOWNSHIP	Municipality:	ALLEN TOWNSHIP
		NBHD:	0101
		School District:	NORTHAMPTON SCHOOL DIST
Mailing Address:	4714 INDIAN TRAIL RD	Zoning:	VC
	NORTHAMPTON PA 18067-9492	Land Acres:	2.01
		Street/Road:	PAVED
		Topography:	LEVEL
		Utilities	WELL

Value Summary

Appraised Land:	11,700	Assessed Land	5,900
Appraised Building:	32,300	Assessed Building	16,200
Appraised Total:	44,000	Assessed Total	22,100

Primary Residential Card

Card:	1	Basement:		Fireplace Prefab:	
Stories:		Square Feet:		Fireplace Opening:	
Style:		HT/AC:		Fireplace Stacks:	
Year Built:		Fuel:		Basement Garage:	
Year Remod.		System:		Grade:	
Total Rooms:		Attic:		Cond (CDU):	
Bedrooms:		Rec Room Area:		Percent Complete:	
Full Bath:		Finished Basement Area:		Family Room:	
Half Bath:				Ext. Material:	

Commercial Card

Year Built		Improvement Name:	
Units		Gross Floor Area:	
Grade:			

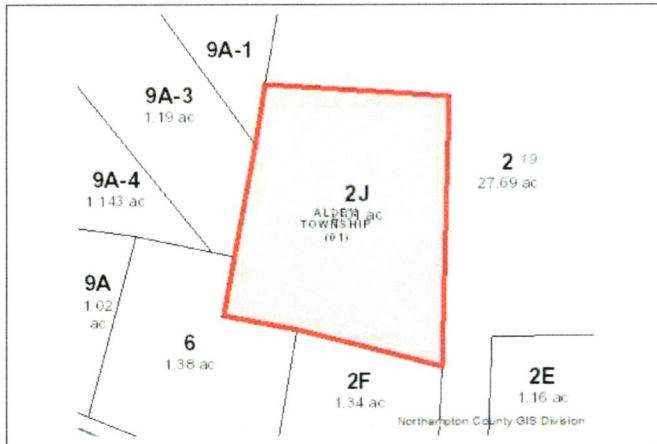
Other Items

Code Description	Yr Blt	Sq Ft
BU2 STEEL, 70'	2006	4800

Sales History

Date	Book-Page	Grantor	Sale	Desc	Parcels	Amount
12/17/2003	2003-1--518966	STEFFIE KENNETH M	9	OLD UNVALIDATED CODE		
3/1/1998	19981--035468		3	CHANGED AFTER SALE		149,250

MAP

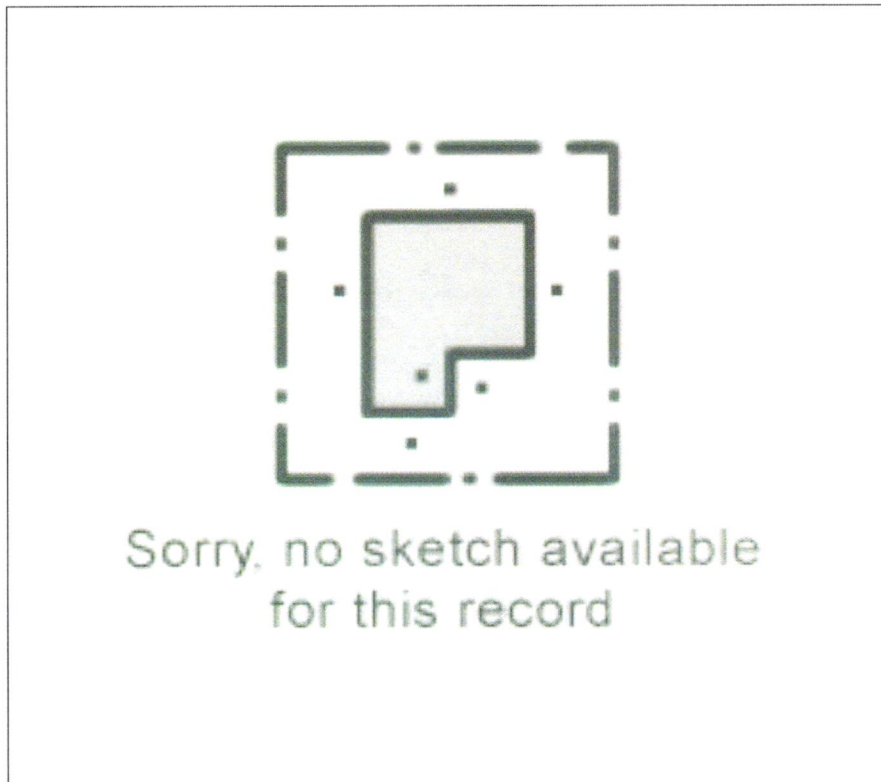


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SKETCH



Sketch

1 BUTLER BLD - BU2:STEEL, 70' LONG
(BUTLER) 4800 Sq. Ft.

Property #2 - PARCEL 1/1

Northampton County

Property Report Card

Assessment Office

Profile

Parcel:	K4 29 7 0501E	Land Use Code:	903
Address:	3530 HOWERTOWN RD	LUC Description:	Firehouse
Owner Details:	ALLEN TOWNSHIP	Municipality:	ALLEN TOWNSHIP
		NBHD:	C276
Mailing Address:	4714 INDIAN TRAIL RD	School District:	NORTHAMPTON SCHOOL DIST
	NORTHAMPTON PA 18067-9492	Zoning:	R-S
		Land Acres:	8.78
		Street/Road:	PAVED/SIDEWALK
		Topography:	LEVEL
		Utilities	ALL PUBLIC

Value Summary

Appraised Land:	36,500	Assessed Land	18,300
Appraised Building:	434,000	Assessed Building	217,000
Appraised Total:	470,500	Assessed Total	235,300

Primary Residential Card

Card:	1	Basement:		Fireplace Prefab:	
Stories:		Square Feet:		Fireplace Opening:	
Style:		HT/AC:		Fireplace Stacks:	
Year Built:		Fuel:		Basement Garage:	
Year Remod.		System:		Grade:	
Total Rooms:		Attic:		Cond (CDU):	
Bedrooms:		Rec Room Area:		Percent Complete:	
Full Bath:		Finished Basement Area:		Family Room:	
Half Bath:				Ext. Material:	

Commercial Card

Year Built	1977	Improvement Name:	
Units	0	Gross Floor Area:	18000
Grade:	C		

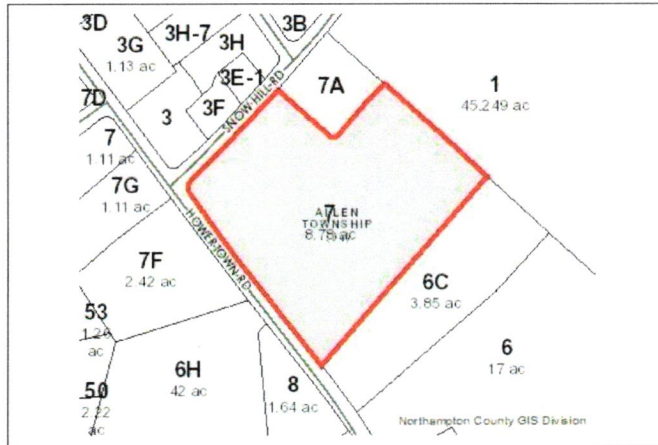
Other Items

Code Description	Yr Blt	Sq Ft
PA1 PAVING	1977	60000

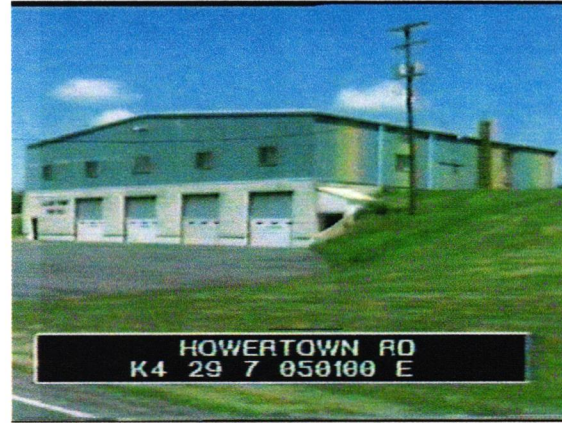
Sales History

Date	Book-Page	Grantor	Sale	Desc	Parcels	Amount
8/31/2021	2021-1--314682	ALLEN TOWNSHIP FIRE CO	2	NOT OPEN MARKET		1
9/1/1989	780 --000072		2	NOT OPEN MARKET		1

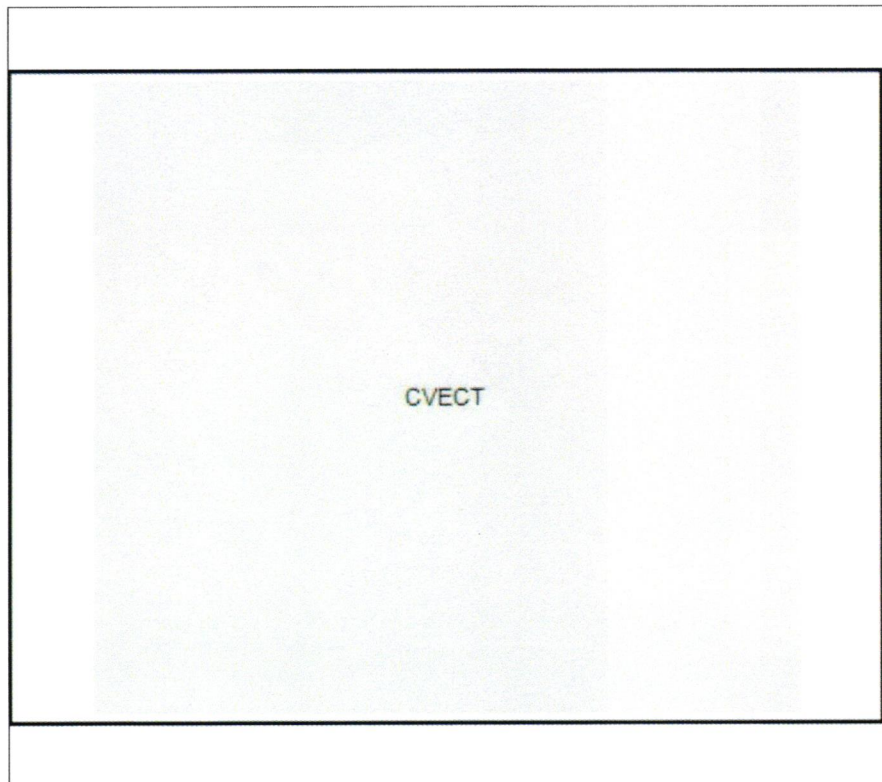
MAP



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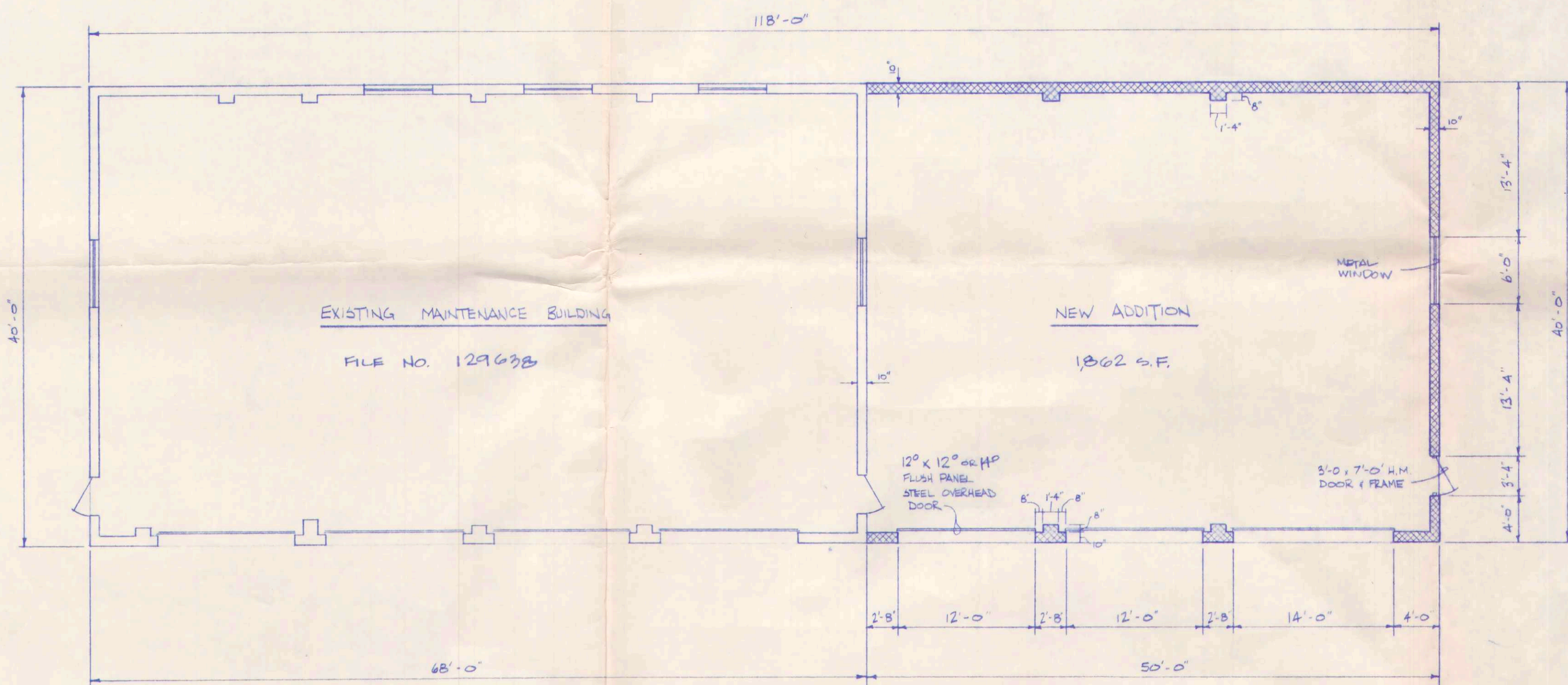


SKETCH

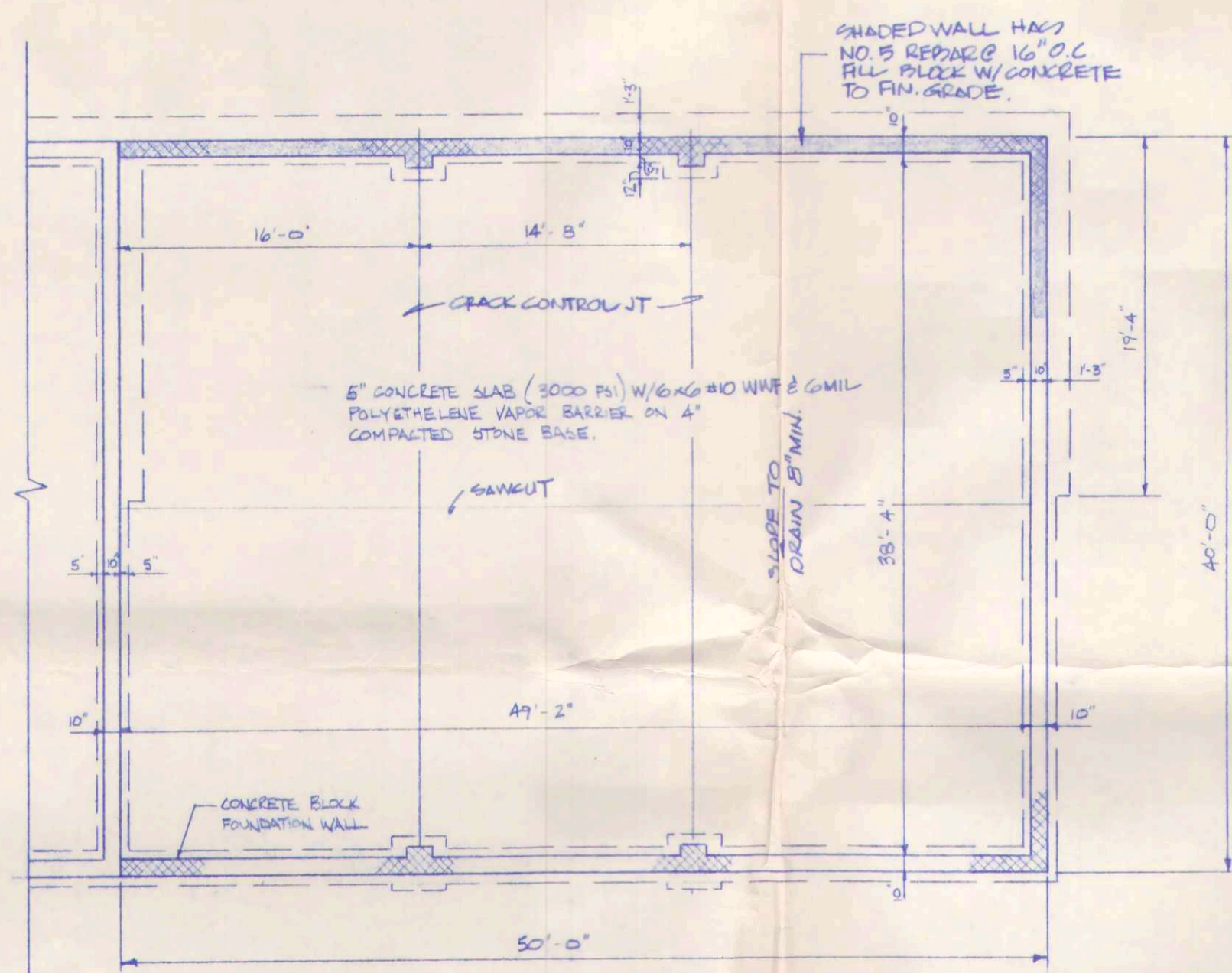


Sketch

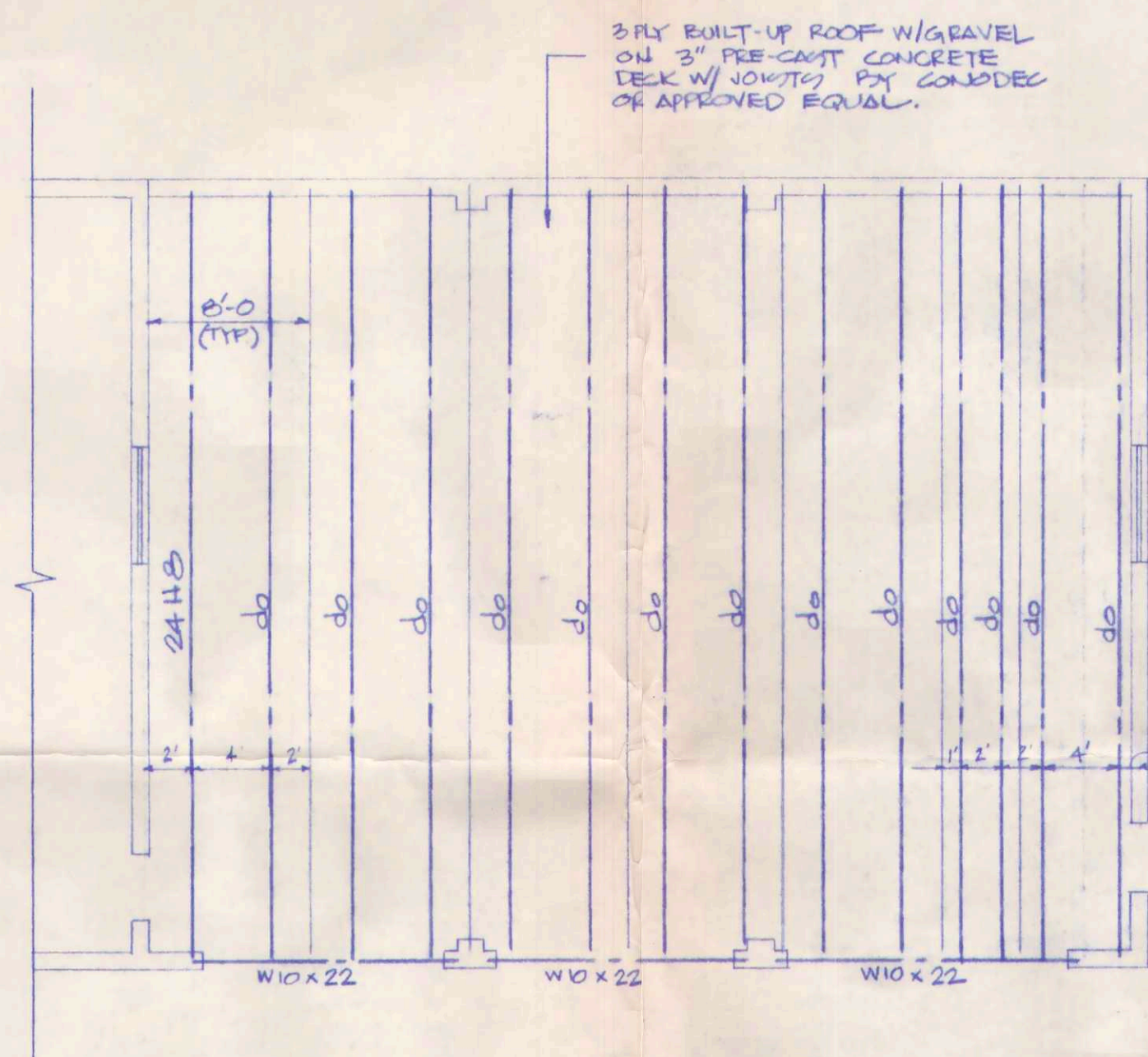
9 C Vect - CV1:COMMERCIAL VECTOR
1 MLTI STORAGE - 084:MULTI-STRG
9000 Sq. Ft.
2 SCL/FRAT HAL -
064:SOCIAL/FRATERNAL HALL 9000
Sq. Ft.
1 PAVING ASP - PA1:PAVING ASPHALT
PARKING 60000 Sq. Ft.



FLOOR PLAN
SCALE: 1/8" = 1'-0"



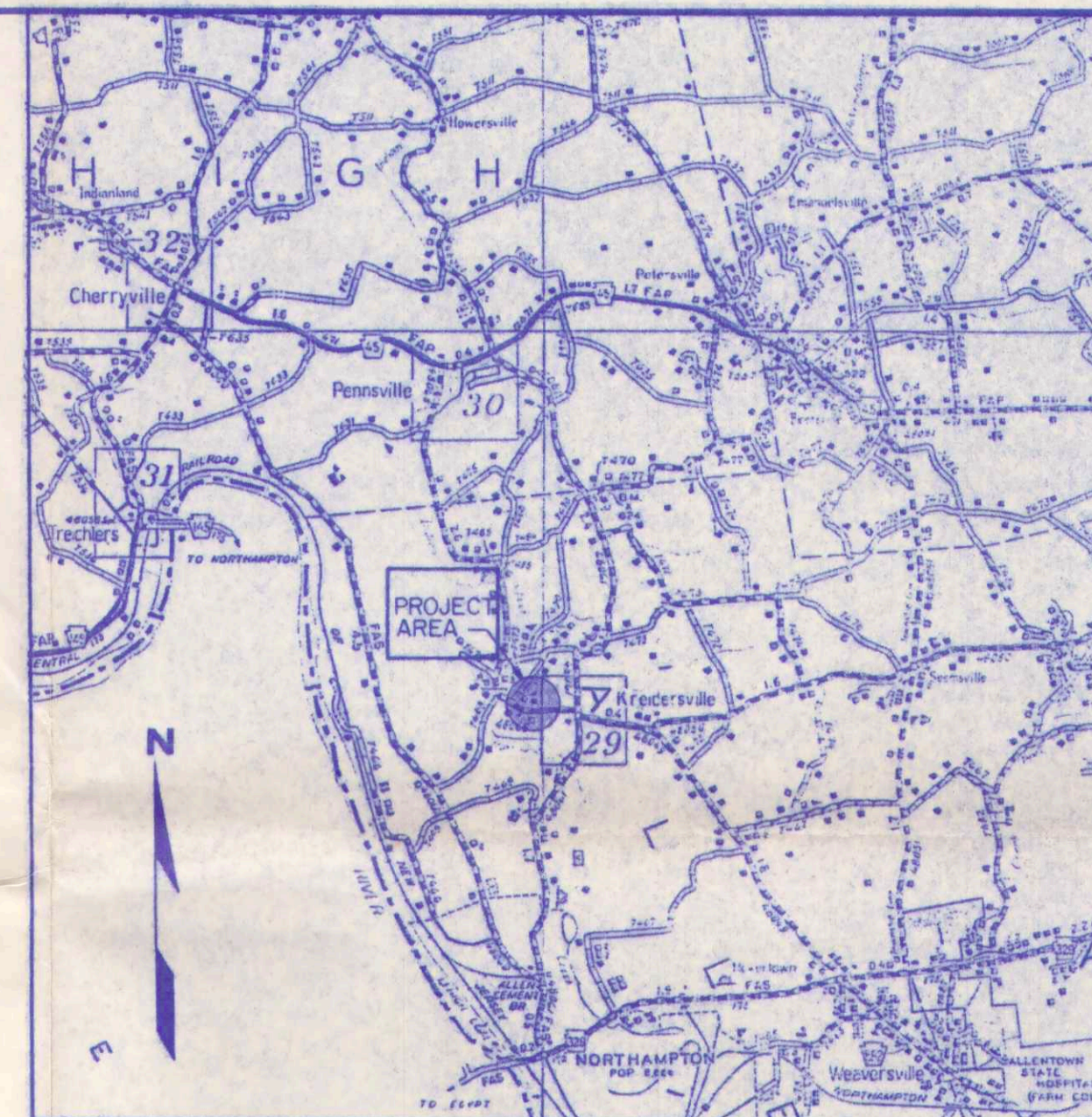
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

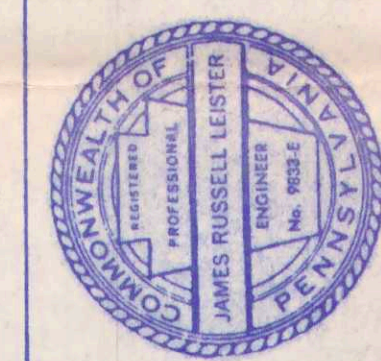
- GENERAL NOTES**
- All structural concrete in individual and continuous footings shall have a minimum compressive strength of 3000 PSI at 28 days and conform to the best practice according to the latest A.C.I. Code.
 - All structural concrete in floor slabs shall have a minimum compressive strength of 3000 PSI at 28 days. Concrete floor slabs to be poured in checkerboard fashion with a maximum pour of 500 square feet. Over 5 MIL polyethylene vapor barrier, welded wire fabric to conform to ASTM A-185. End and side laps to overlap 8" minimum. Do not extend wire thru control joints.
 - All footings are designed on an assumed soil bearing value of P.S.F. This Engineer must be notified by the contractor when soil conditions do not permit this bearing value to be obtained in the field.
 - No concrete shall be placed when the temperature is 40° F and falling. All concrete shall be cured in accordance with the latest specifications of the A.C.I. Code.
 - The bottom of all exterior footings shall extend a minimum of 36 inches below finish grade, and all footings must be placed on undisturbed soil. No footings are to be placed in trenches containing water.
 - All reinforcing bars shall meet ASTM A-615 grade 60 high strength billet steel. Deformations to meet ASTM A-305. Lap all bars a minimum of 40 diameters at splices.
 - All slabs on grade not placed on undisturbed soil shall bear on controlled compacted fill placed to obtain not less than 95% of maximum standard dry density ASTM C-99-70.
 - All masonry work to conform with the latest edition of "American Standard Building Code" requirements for masonry.
 - Hollow masonry load bearing units shall conform to ASTM C-90, Grade N, Type I or Type II. The minimum compressive strength to be 2000 PSI on the net area. The net area must be at least 53% of the gross area.
 - Solid masonry load bearing units shall conform to ASTM C-145, Grade N, Type I or Type II, and are to be used when specified. The minimum compressive strength to be 1800 PSI on the gross area.
 - Walls shall be supported until floors are poured and roof system is installed.
 - All intersecting masonry walls shall be regularly toothed. Pilasters are to be built integrally with the block wall.

- All concrete masonry units to be laid up in full bed of mortar with full head joints. Install continuous galvanized joint reinforcement every other block course.
- Suitable control joints as required by job conditions shall be provided in roof, walls, and floors. Control joints in walls and floors shall be so constructed as to provide required shear across the joints. Notify Architect to verify exact locations of control joints.
- Mortar shall conform to ASTM C-270, Type S.
- Over all openings provide one 4" x 8" pre-cast concrete lintel for each 4" of masonry thickness, reinforce each lintel with a #5 bar top and bottom.
- Structural steel shall conform to ASTM A-36 or as noted, and the latest A.I.S.C. Code and practice. Unless otherwise noted, all connections to be designed for capacity of supported member assuming uniform load.
- Structural erection shall conform with manufacturer's recommendations and comply with the latest A.I.S.C. specifications.
- Steel roof deck shall be as noted on sections and details and shall conform to the latest specifications of the "Steel Deck Institute".
- Structural Design Loads
 - Roof - Vertical live load 30 PSF plus building dead load, unless otherwise noted.
 - Floor - 125 PSF live load plus building dead load.
 - Wind load 10 PSF.
 - Other loads as noted.
- Anchor bolts and leveling plates are to be set per project anchor bolt plan on a level and square foundation using 8000 PSI non-shrink grout.
- Wood members shall be structural grade fir having a minimum fiber stress (Fb) of 1150 PSI, minimum (Fb) 625 PSI, minimum (H) 75 PSI and minimum (b), 1,400,000 PSI.
- Where aluminum is adjacent to steel, provide adequate barrier to prevent oxidation of aluminum and steel.
- All designers and contractors using the information on these plans must comply with the requirements of PA Act 287, House Bill 2543, entitled "Excavation and Demolition Protection of Underground Utilities", Telephone 1-800-242-1776.
- All plumbing, mechanical and electrical work shall conform to local, state, and national codes.



LOCATION MAP
SCALE: 1" = 5280'

COWAN ASSOCIATES, INC.
ENGINEERS, DESIGNERS, SURVEYORS
120 PENN. AM. DRIVE, P.O. BOX 558
QUAKERTOWN, PA. 18951
(215) 536-7075



ADDITION TO
TOWNSHIP MAINTENANCE BUILDING
ALLEN TOWNSHIP
NORTHAMPTON COUNTY, PENNSYLVANIA
PLANS & NOTES

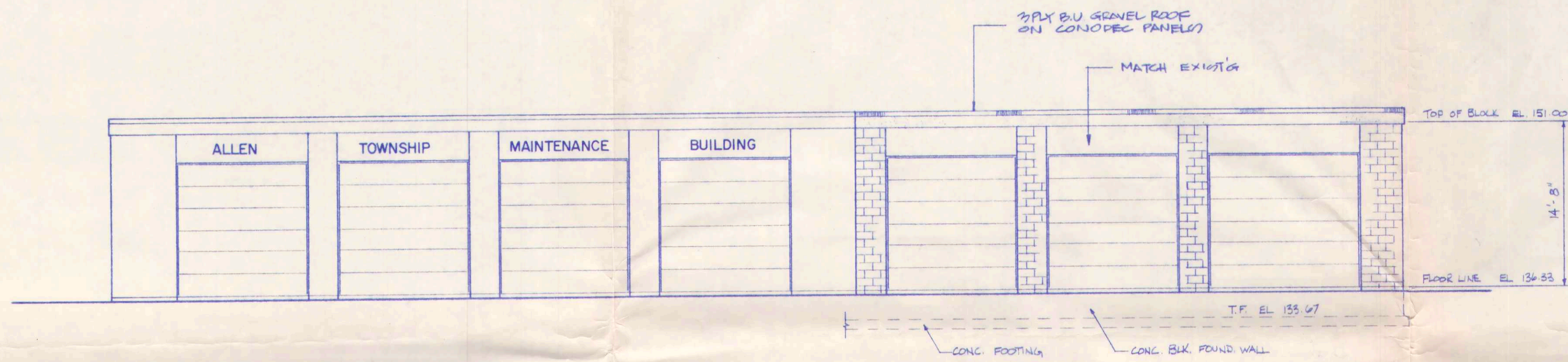


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SCALE: AS NOTED
DRAWN: BLB
CHECKED: RFP
JOB NO: 00837
SHEET: A1
1 of 2

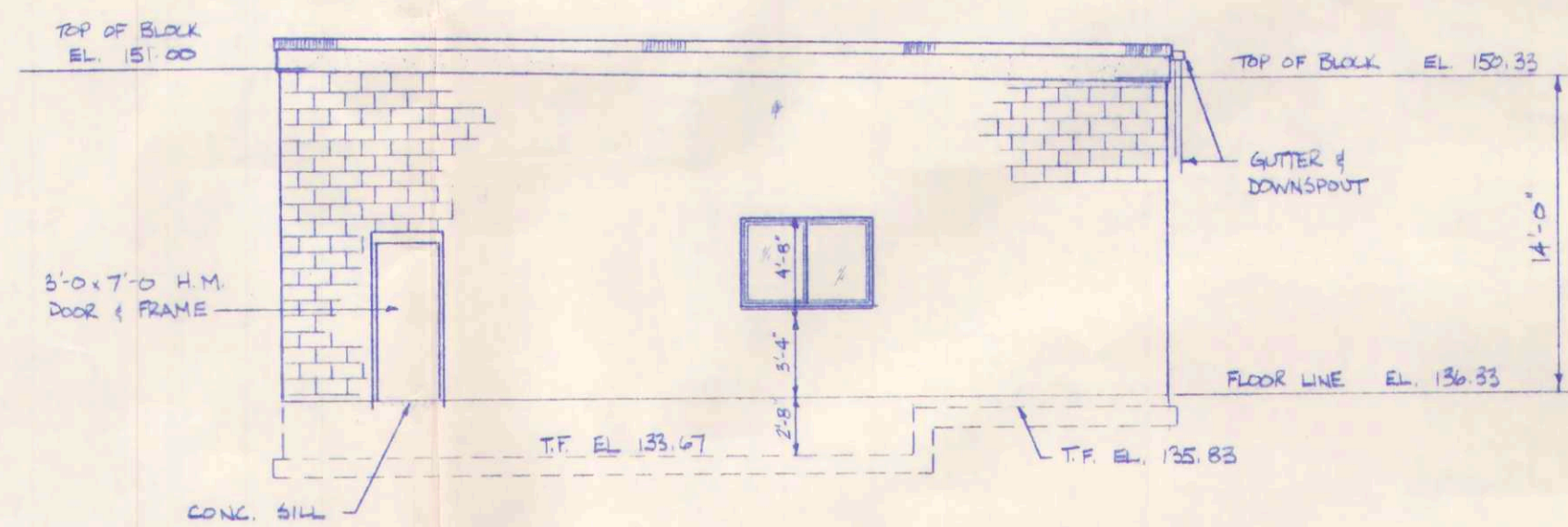
The professional architectural and engineering designs shown on these drawings are owned by Cowan Associates, Inc. and developed for use on this project only. No reproduction or use of this design on another project shall be allowed without written permission of the Architect.

DO NOT SCALE DRAWINGS! In all cases written dimensions shall take precedence over all other scaled dimensions. Contractors shall verify and be fully responsible for all dimensions on the job site. The Architect shall be notified of any variations on the site, contrary to these documents before installation begins.

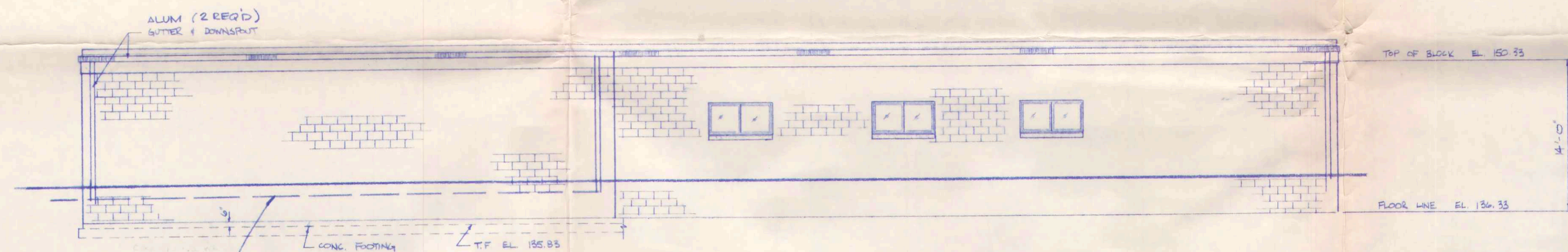
All questions regarding any unspecified materials or construction methods shall be referred to the Architect for judgement.



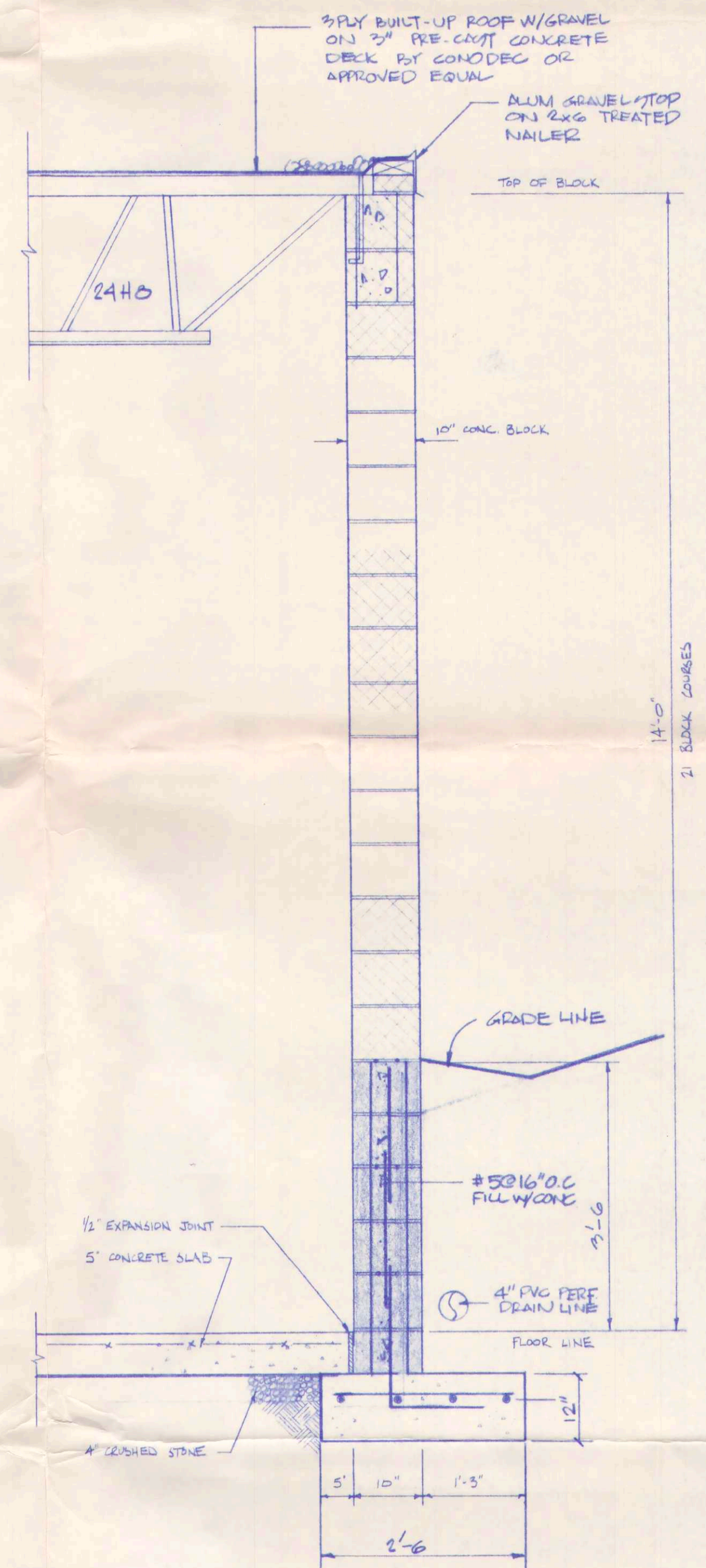
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



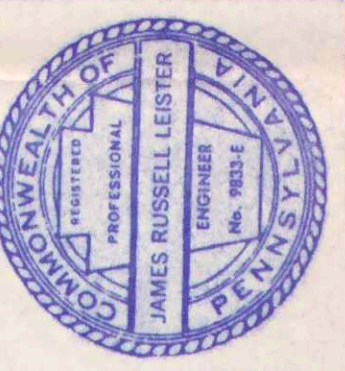
REAR ELEVATION
SCALE: 1/8" = 1'-0"



WALL SECTIONS
SCALE: 3/4" = 1'-0"

REVISIONS	BY

COWAN ASSOCIATES, INC.
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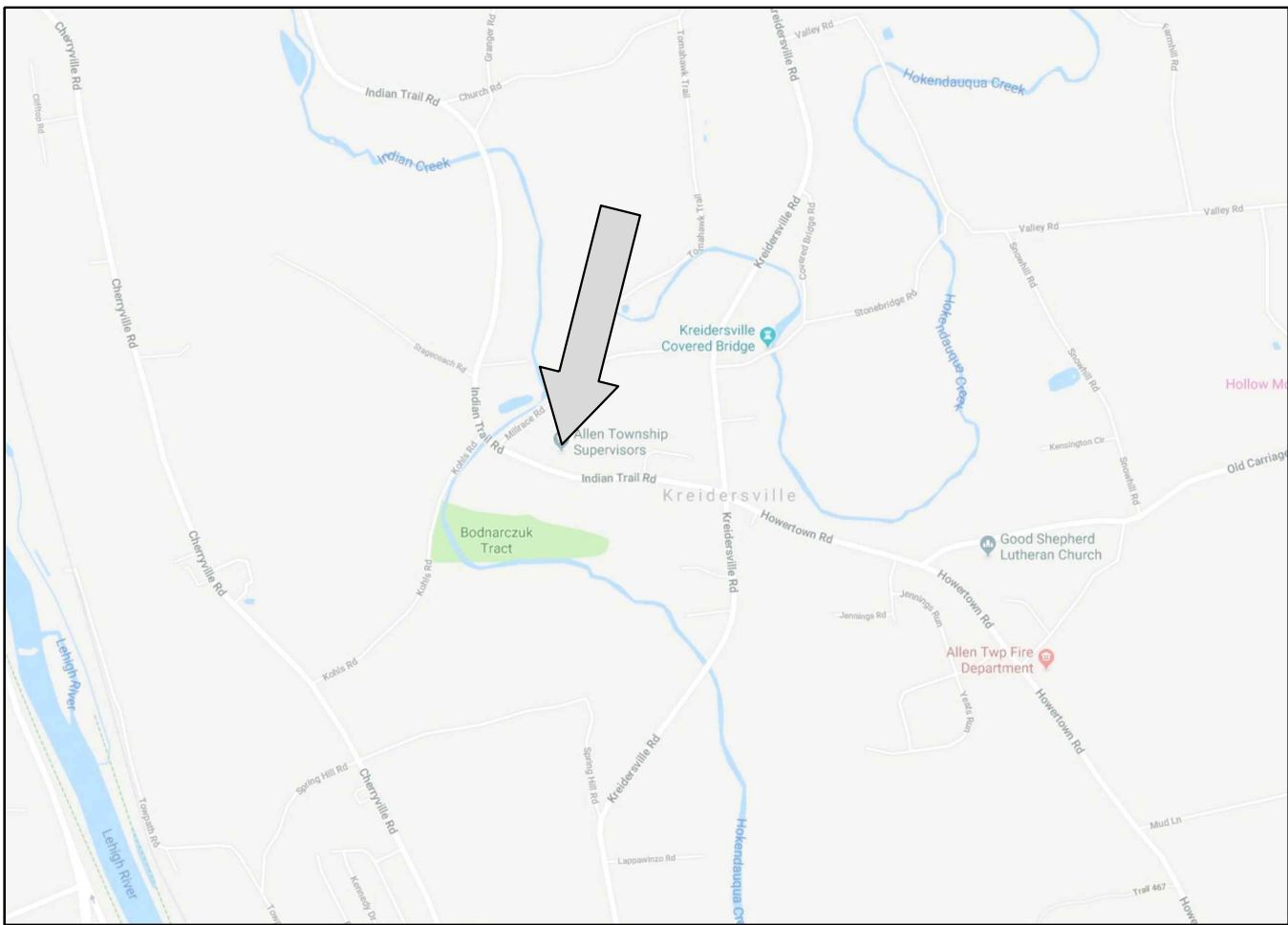


ADDITION TO
TOWNSHIP MAINTENANCE BUILDING
ALLEN TOWNSHIP
NORTHAMPTON COUNTY, PENNSYLVANIA
ELEVATIONS & SECTIONS



DATE	SEPT. 21, 1983
SCALE	AS NOTED
DRAWN	BLB
CHECKED	RAF
JOB NO.	00837
SHEET	A2
	2 OF 2

MEETING ROOM SECURITY
ALLEN TOWNSHIP
4714 INDIAN TRAIL ROAD
NORTHAMPTON, PA 18067



SITE MAP

BUILDING CODE DATA 2009 INTERNATIONAL BUILDING CODE	
OCCUPANCY TYPE	GROUP B
CONSTRUCTION TYPE	EXISTING
GROSS SQUARE FOOTAGE	TOTAL = EXISTING - NO CHANGE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANT LOAD	EXISTING - NO CHANGE



KEY PLAN

Barry Isett & Associates, Inc.
85 South Route 100
Allentown, Pa 18106
610-398-0904
Contact: Clint Newton

610.398.0904
barryissett.com
BARRY ISETT & ASSOCIATES, INC.
MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

APPLICABLE CODES

THIS PROJECT IS DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE FOLLOWING CODES LISTED BELOW:

INTERNATIONAL BUILDING CODE	2009
CHAPTER II & APPENDIX E	2012
INTERNATIONAL EXISTING BUILDING CODE	2009
INTERNATIONAL MECHANICAL CODE	2009
INTERNATIONAL PLUMBING CODE	2009
NATIONAL FIRE PREVENTION CODE	2009
NATIONAL ELECTRIC CODE	2008
ICC / ANSI A 117.1-7	2009

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES OF THE AUTHORITY HAVING JURISDICTION AND MUST NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES INDICATED BY THESE DOCUMENTS FOUND PRIOR TO OR DURING CONSTRUCTION. NOTIFICATION MUST BE GIVEN TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ABBREVIATION LIST

A.F.F. ABOVE FINISH FLOOR	LG. LONG
B.O.F. BOTTOM OF FOOTING	LLH LONG LEG HORIZONTAL
B.S. BRICK SHELF ELEVATION (PLANS)	LLV LONG LEG VERTICAL
B.S. BOTH SIDES (SECTIONS)	LSH LONG SIDE HORIZONTAL
C.J. CONTROL JOINT	LSV LONG SIDE VERTICAL
CL CENTERLINE	N.T.S. NOT TO SCALE
CMU CONCRETE MASONRY UNIT	O.C. ON CENTER
CONT. CONTINUOUS	P. PLATE
DBA DEFORMED BAR ANCHOR	REINFORCING
E.E. EACH END	S.F. STEP FOOTING
E.F. EACH FACE	STIFF. STIFFENER PLATE
E.S. EACH SIDE	T.B.R. TO BE REMOVED
E.W. EACH WAY	T&B TOP AND BOTTOM
EXIST. EXISTING	T.O.S. TOP OF STEEL
F.F. FINISH FLOOR	T.O.W. TOP OF WALL
GA. GAGE	TS. TUBE STEEL
GALV. GALVANIZED	TYP. TYPICAL
HORIZ. HORIZONTAL	U.N.O. UNLESS NOTED OTHERWISE
H.S.S. HOLLOW STRUCTURAL SECTION	VERT. VERTICAL
L. ANGLE	WWF WELDED WIRE FABRIC
	XE EXTENDED END - TYPE R

GENERAL NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS UNLESS NOTED OTHER WISE TO COMPLETE THE WORK.
- ALL WORK WILL BE SUBJECT TO THE APPROVAL OF THE BUILDING OWNER AND PRIME DESIGN PROFESSIONAL.
- ALL WORK IS TO BE COORDINATED WITH THE BUILDING OWNER, INCLUDING WORKING HOURS, DUMPSTER LOCATIONS, LOADING AREAS, ETC.
- ALL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "2009 INTERNATIONAL BUILDING CODE"
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- MECHANICAL AND ELECTRICAL SYSTEMS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACTOR SHALL BE COMPLETELY FAMILIARIZED WITH ALL CONTRACT DOCUMENTS. BY SUBMITTING A COST PROPOSAL TO COMPLETE THE WORK, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND ARE FAMILIAR WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED.
- WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- JBSITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE CONSTRUCTION BY THE DESIGN PROFESSIONAL IS FOR GENERAL CONFORMANCE WITH DESIGN ASPECTS ONLY, NOT TO REVIEW THE CONTRACTOR'S PROVISIONS FOR JOBSITE SAFETY. LACK OF COMMENT ON THE PART OF THE DESIGN PROFESSIONAL WITH REGARD TO JOBSITE SAFETY IS NOT TO BE INTERPRETED AS APPROVAL OF JOBSITE SAFETY PRACTICES.
- THE CONTRACTOR SHALL COORDINATE OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS SHOWN ON THE PRIME PROFESSIONAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
- ALL COSTS OF INVESTIGATION AND/OR REDESIGN DUE TO CONTRACTOR IMPROPER INSTALLATION OF ELEMENTS OR OTHER ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH EACH OTHER. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PRIME PROFESSIONAL PRIOR TO PERFORMING THE WORK. IN THE CASE OF A CONFLICT, THE MORE STRINGENT IN COST OR QUALITY SHALL APPLY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, EXISTING CONDITIONS, ELEVATIONS, ETC.) AND NOTIFY THE PRIME PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO FABRICATION OR INSTALLATION OF ANY COMPONENTS. FAILURE TO NOTIFY PRIME PROFESSIONAL OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
- IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE PRIME PROFESSIONAL IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH THE PROPOSED MODIFICATION OF THE DETAILS SHOWN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED BY THE PRIME PROFESSIONAL.
- SHOP DRAWINGS FOR ALL MATERIALS ARE TO BE SUBMITTED TO THE PRIME DESIGN PROFESSIONAL FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2) WEEKS.
- REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- SHOP DRAWINGS SUBMITTED FOR REVIEW SHALL CONSIST OF THREE (3) SETS OF PRINTS. ONLY ONE (1) MARKED UP SET WITH THE COMMENTS WILL BE RETURNED TO THE CONTRACTOR.
- SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON A CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF BIA AND ARE NOT VALID.
- ALL MATERIALS SHALL BE STORED TO PROTECT THEM FROM EXPOSURE TO THE ELEMENTS, IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- DEBRIS, WASTE OR OTHER UNUSED CONSTRUCTION MATERIALS SHALL NOT BE PERMITTED TO ACCUMULATE. EACH TRADE IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF THEIR RESPECTIVE DEBRIS. LOCATION OF DUMPSTERS IS TO BE APPROVED BY THE BUILDING OWNER.
- UPON COMPLETION OF THE WORK, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE IN "BROOM-LEAN" CONDITION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL FINISHES TO REMAIN, INCLUDING COMMON CORRIDORS, LOBBIES, STAIRS, LANDSCAPING, ELEVATOR CABS, ETC.
- GENERAL CONTRACTOR SHALL PROVIDE AN ESTIMATED CONSTRUCTION WORK SCHEDULE. SCHEDULE SHALL BE UPDATED AS REQUIRED DUE TO CHANGES IN THE PROGRESS OF WORK AND UPON THE REQUEST OF THE BUILDING OWNER AND/OR PRIME DESIGN PROFESSIONAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE FOLLOWING SANITARY FACILITIES: TEMPORARY TOILETS, WASH FACILITIES, AND DRINKING WATER FOR USE OF CONSTRUCTION PERSONNEL. COMPLY WITH AUTHORITIES HAVING JURISDICTION FOR TYPE, NUMBER, LOCATION, OPERATION, AND MAINTENANCE OF FIXTURES AND FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

LIST OF DRAWINGS

SHEET	SHEET TITLE
CS	COVER SHEET
S1.0	FLOOR PLAN, ELEVATIONS, AND NOTES
S2.0	ENLARGED STAIR PLAN, ELEVATIONS, AND SECTIONS
S3.0	SCHEDULES, NOTES, AND DETAILS

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF MEETING ROOM SECURITY UPGRADES.

ISSUED
FOR BID
DATE: 12/06/2018

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS FOR THE ENTIRE PROJECT BEFORE PROCEEDING WITH THE WORK.

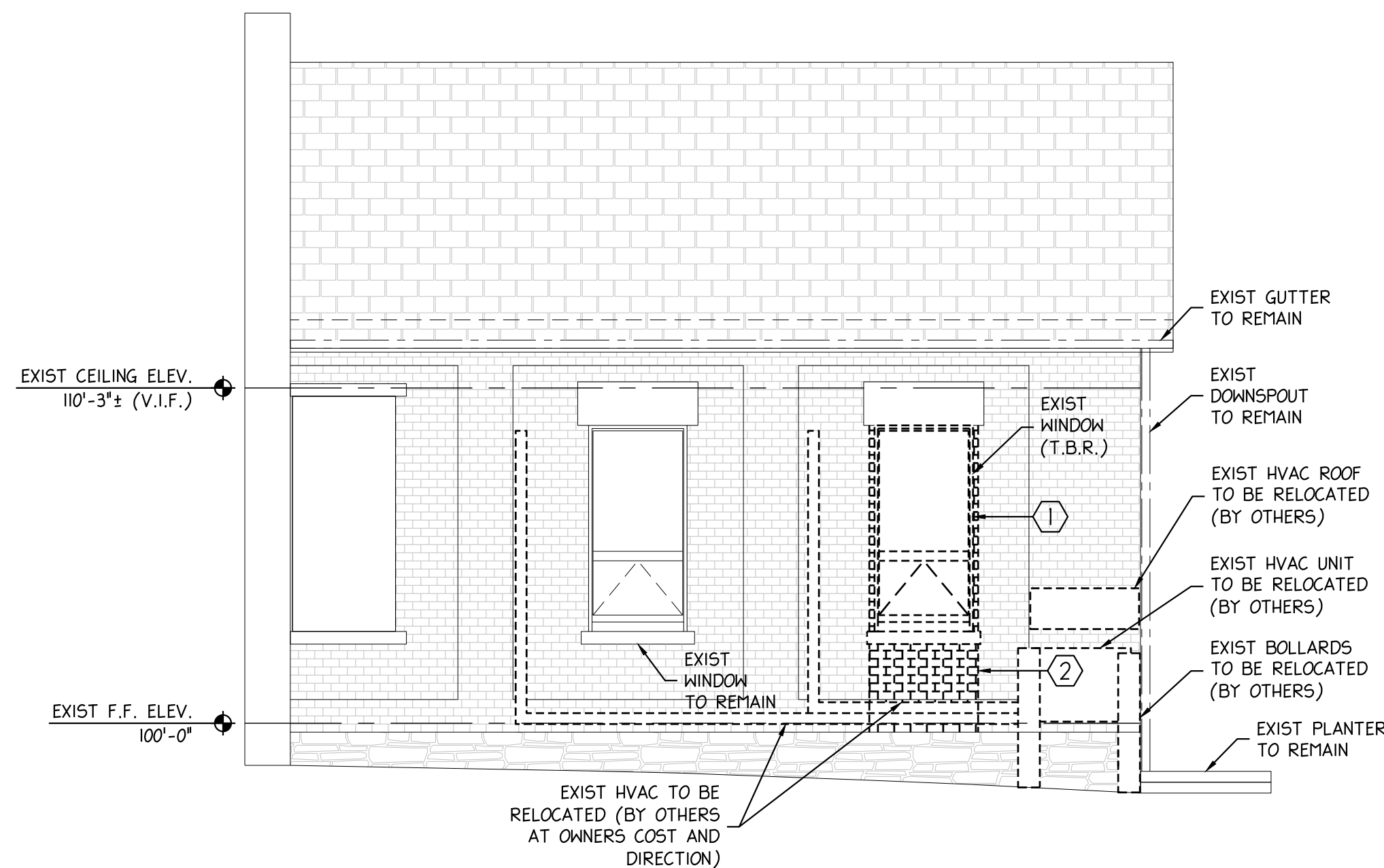
COVER SHEET

MEETING ROOM SECURITY
ALLEN TOWNSHIP
4714 INDIAN TRAIL ROAD
NORTHAMPTON, PA 18067

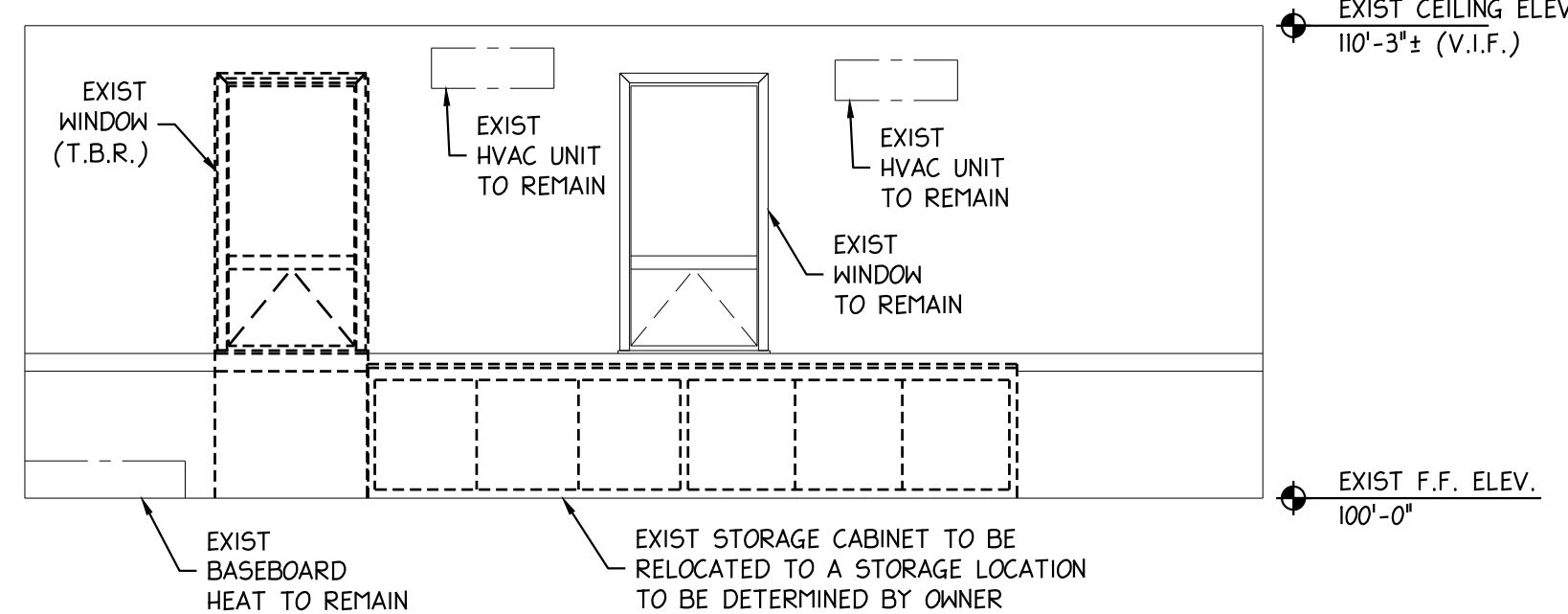
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DRAWN: RPK	APPRD: JWC
JOB: 362118.020	P MGR: CN
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SHEET:

CS

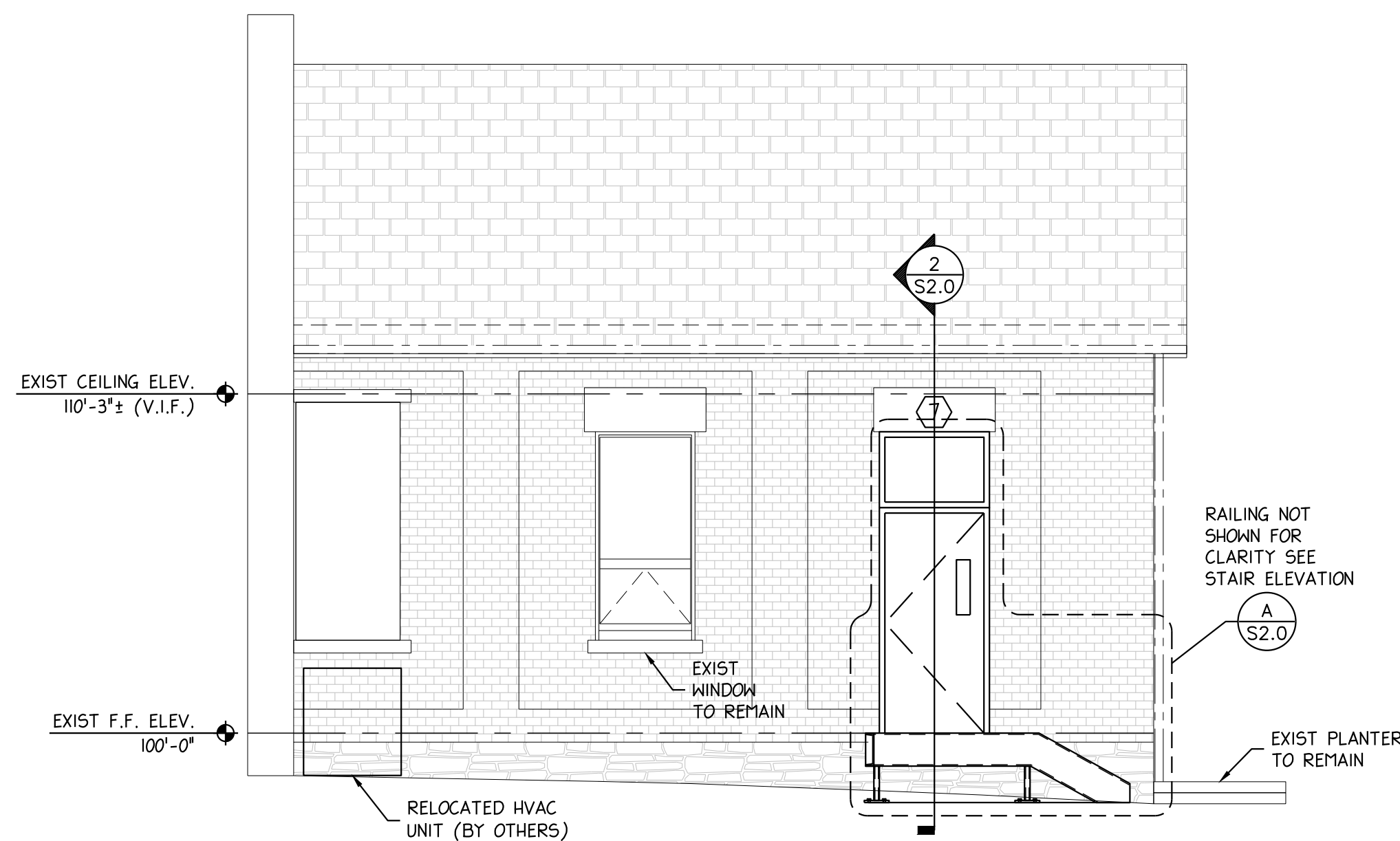


EXTERIOR DEMOLITION ELEVATION 1
SCALE: 1/4"=1'-0"
NOTES:
1. -----DENOTES ITEMS TO BE REMOVED (T.B.R.) OR RELOCATED.

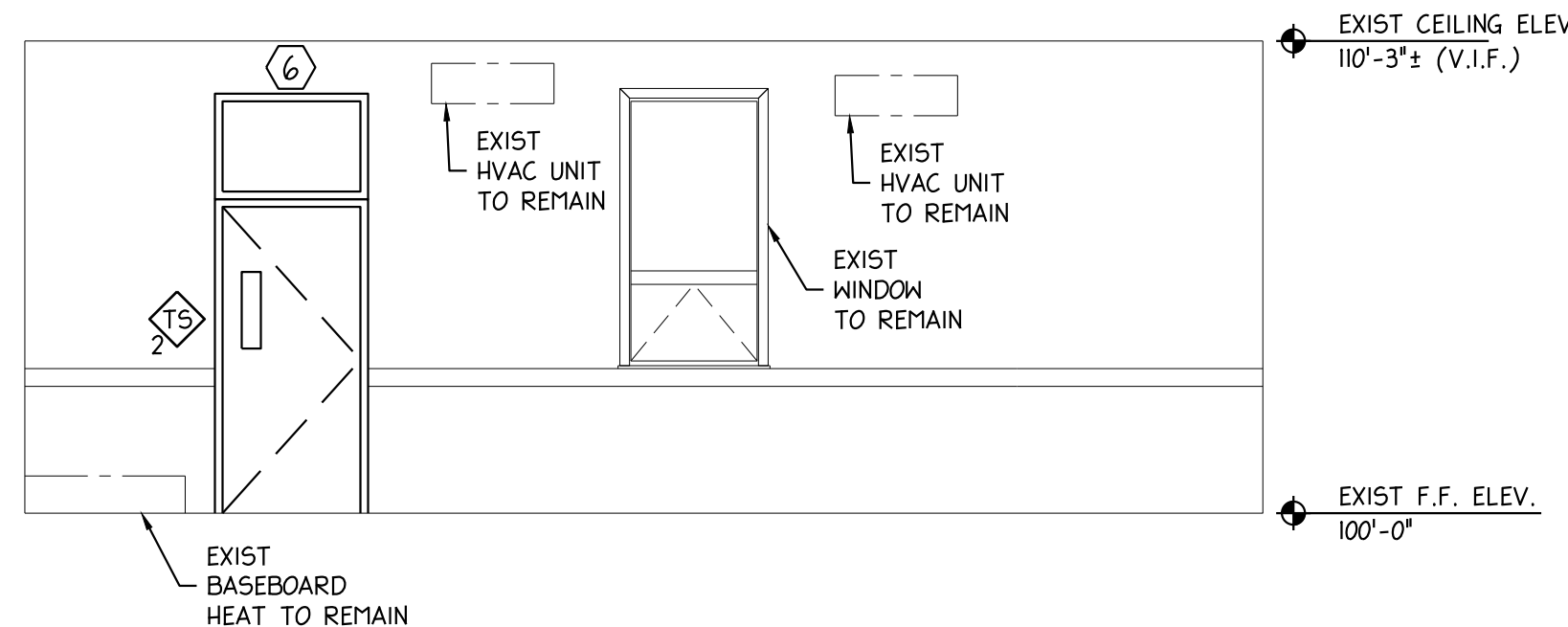


INTERIOR DEMOLITION ELEVATION 2
SCALE: 1/4"=1'-0"
NOTES:
1. -----DENOTES ITEMS TO BE REMOVED (T.B.R.) OR RELOCATED.

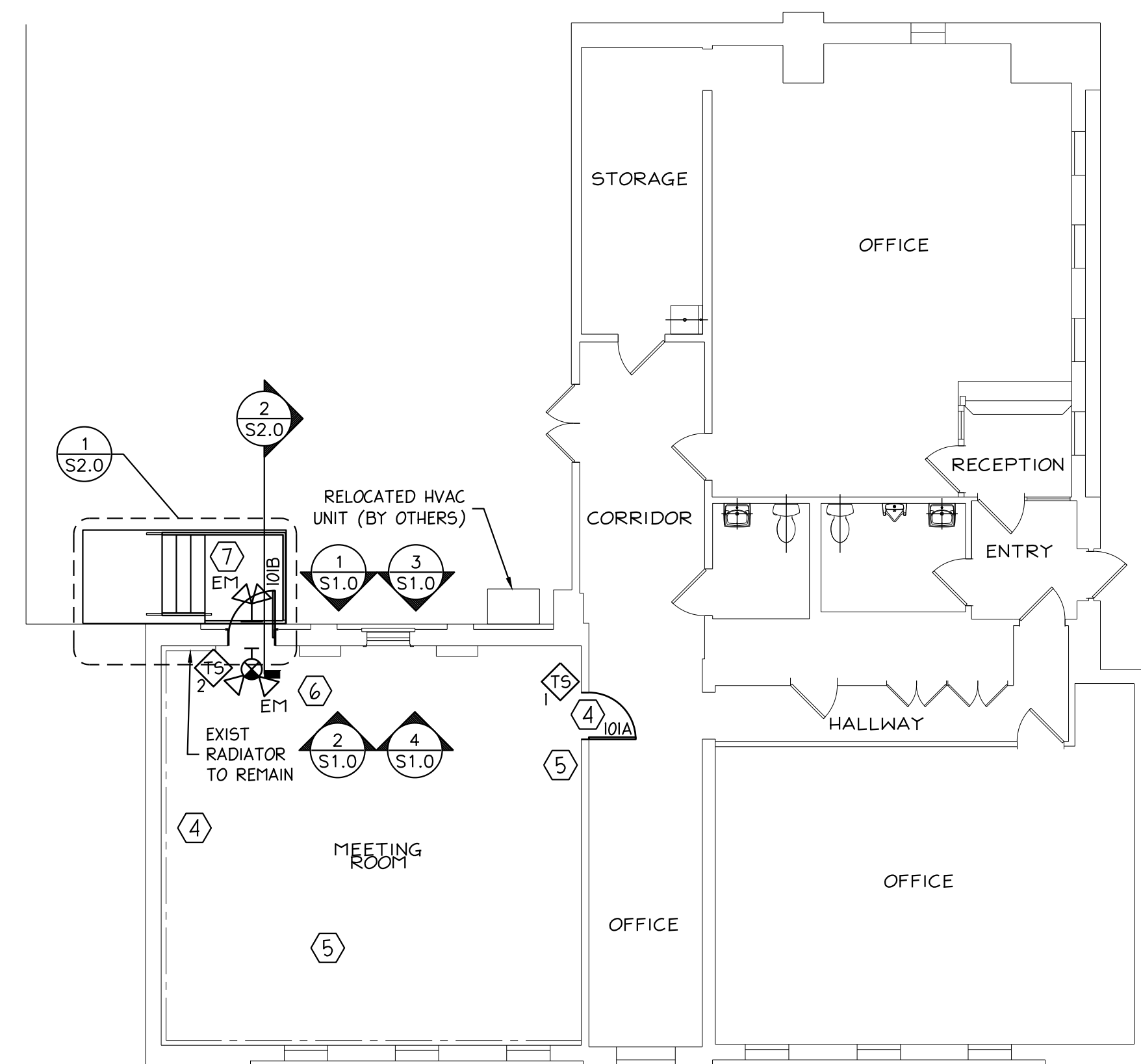
- GENERAL DEMOLITION NOTES
- DEMOLITION PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE INTENT OF THE DEMOLITION PLANS IS TO REMOVE THE EXISTING CONSTRUCTION TO ALLOWING THE NEW CONSTRUCTION TO PROCEED. THE DEMOLITION DRAWINGS MAY NOT INDICATE ALL ITEMS TO BE REMOVED. THE DEMOLITION DRAWINGS ARE TO BE USED AS PART OF THE CONTRACTOR'S SURVEY OF THE EXISTING CONDITIONS, TO DETERMINE THE FULL EXTENT OF DEMOLITION.
 - ALL EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED PRIOR TO DEMOLITION.
 - ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF IN A MANNER ACCEPTABLE TO THE BUILDING OWNER AND AUTHORITY HAVING JURISDICTION.
 - WHERE WALLS, PARTITIONS OR OTHER WORK IS REMOVED, REMAINING SURFACES SHALL BE REPAIRED AND / OR PATCHED TO MATCH EXISTING ADJACENT CONSTRUCTION.
 - FILL AND FIRESTOP ALL OPENINGS IN WALLS AND FLOORS TO MAINTAIN FIRE RATINGS.
 - DO NOT CUT OR REMOVE CONSTRUCTION WHICH MIGHT WEAKEN OR IMPAIR THE STRUCTURAL INTEGRITY.
 - ALL BUILDING SYSTEMS MUST BE PROPERLY TERMINATED, REMOVED AND / OR CAPPED IN A SAFE, CODE-COMPLIANT, PERMANENT MANNER.
 - ALL LIFE SAFETY SYSTEMS SHALL BE MAINTAINED AT ALL TIMES.
 - THE BUILDING AND SITE SHALL BE LEFT IN BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY AND AT THE COMPLETION OF DEMOLITION.
 - ALL EXTERIOR DUMPSTERS SHALL BE PLACED ON WOOD BLOCKING TO ENSURE THAT THERE IS NO DAMAGE TO EXISTING CONCRETE OR PAVING.



EXTERIOR ELEVATION 3
SCALE: 1/4"=1'-0"



INTERIOR ELEVATION 4
SCALE: 1/4"=1'-0"



FLOOR PLAN
SCALE: 1/8"=1'-0"

KEYNOTES	
1	REMOVE EXISTING WINDOW AND SILL. INFILL SILL OPENING WITH BRICK SALVAGED FROM BELOW. MATCH MORTAR TYPE AND COLOR
2	REMOVE BRICK BACK UP AND INTERIOR FINISHES AS SHOWN. OPENING TO MATCH WIDTH OF EXISTING WINDOW.
3	REMOVE WINDOW INFILL INTERIOR AND EXTERIOR.
4	LOCK SYSTEM
5	PANIC SWITCH
6	EMERGENCY LIGHT FIXTURE w/ EXIT SIGN; LED WITH BATTERY BACKUP
7	DUAL HEAD EMERGENCY LIGHT LIGHT FIXTURE; LED WITH BATTERY BACKUP

KEY NOTE #4 & #5 CONSISTS OF THE COMPLETE INSTALLED LOCK SYSTEM. PROVIDE A SECURITY LOCK CAPABLE OF PREVENTING THE DOOR FROM BEING OPENED WHEN ACTIVATED. THE LOCK SHALL BE ARMABLE ONLY FROM INSIDE THE ROOM. PROVIDE POWER SUPPLY, WIRING, SWITCHES, AND CONTROLS FOR THE OPERATION OF THE LOCK. PROVIDE A BATTERY BACKUP CAPABLE OF MAINTAINING OPERATION FOR AT LEAST 60 MINUTES. WIRE TO CONTROL. COORDINATE WITH DOOR 101A.

SYMBOLS	
FE	FIRE EXTINGUISHER
FC	FIRE EXTINGUISHER CABINET
ES	ILLUMINATED EXIT SIGN
EDS	ILLUMINATED DIRECTIONAL DOUBLE FACED EXIT SIGN
1	KEYED NOTE
RI	REVISION INDICATOR
DF	DRINKING FOUNTAIN
ELEVATION 100.00'	ELEVATION
BATT	BATT INSULATION
EL	EMERGENCY LIGHT FIXTURE
EL w/ EXIT SIGN	EMERGENCY LIGHT FIXTURE w/ EXIT SIGN
EL	DUAL HEAD EMERGENCY LIGHT FIXTURE
TS	TACTILE EXIT SIGN
WALL TYPE	WALL TYPE
REVISION CLOUD	REVISION CLOUD
CENTER LINE	CENTER LINE

ISSUED FOR BID
DATE: 12/06/2018

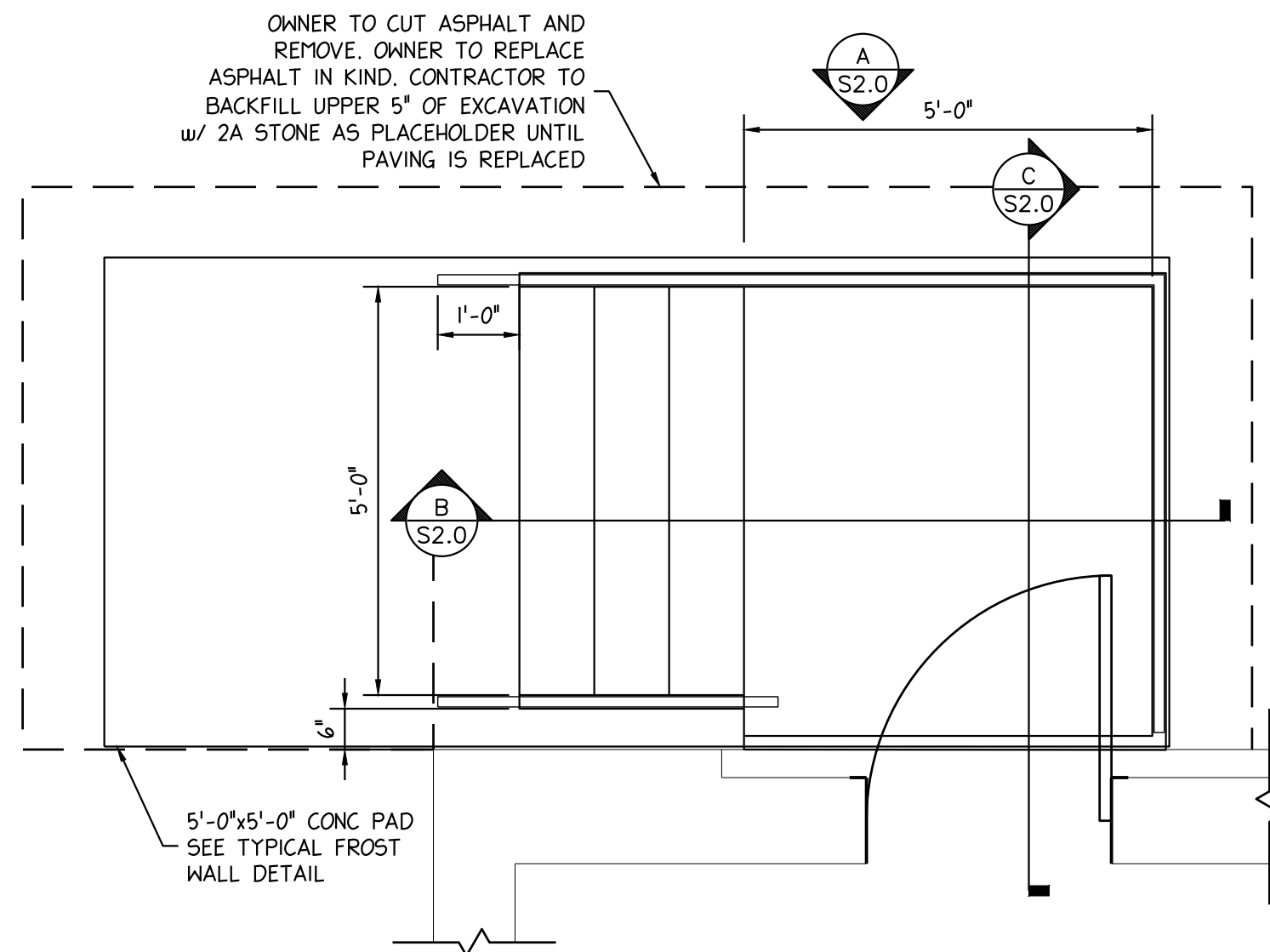
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS FOR THE ENTIRE PROJECT BEFORE PROCEEDING WITH THE WORK.

FLOOR PLAN, ELEVATIONS, AND NOTES
MEETING ROOM SECURITY
ALLEN TOWNSHIP
4714 INDIAN TRAIL ROAD
NORTHAMPTON, PA 18067

DATE: 12/06/2018	DSGN: CN
SCALE: AS NOTED	CHK: JWC
DRAWN: RPK	APPRD: JWC
JOB: 362118.020	P MGR: CN
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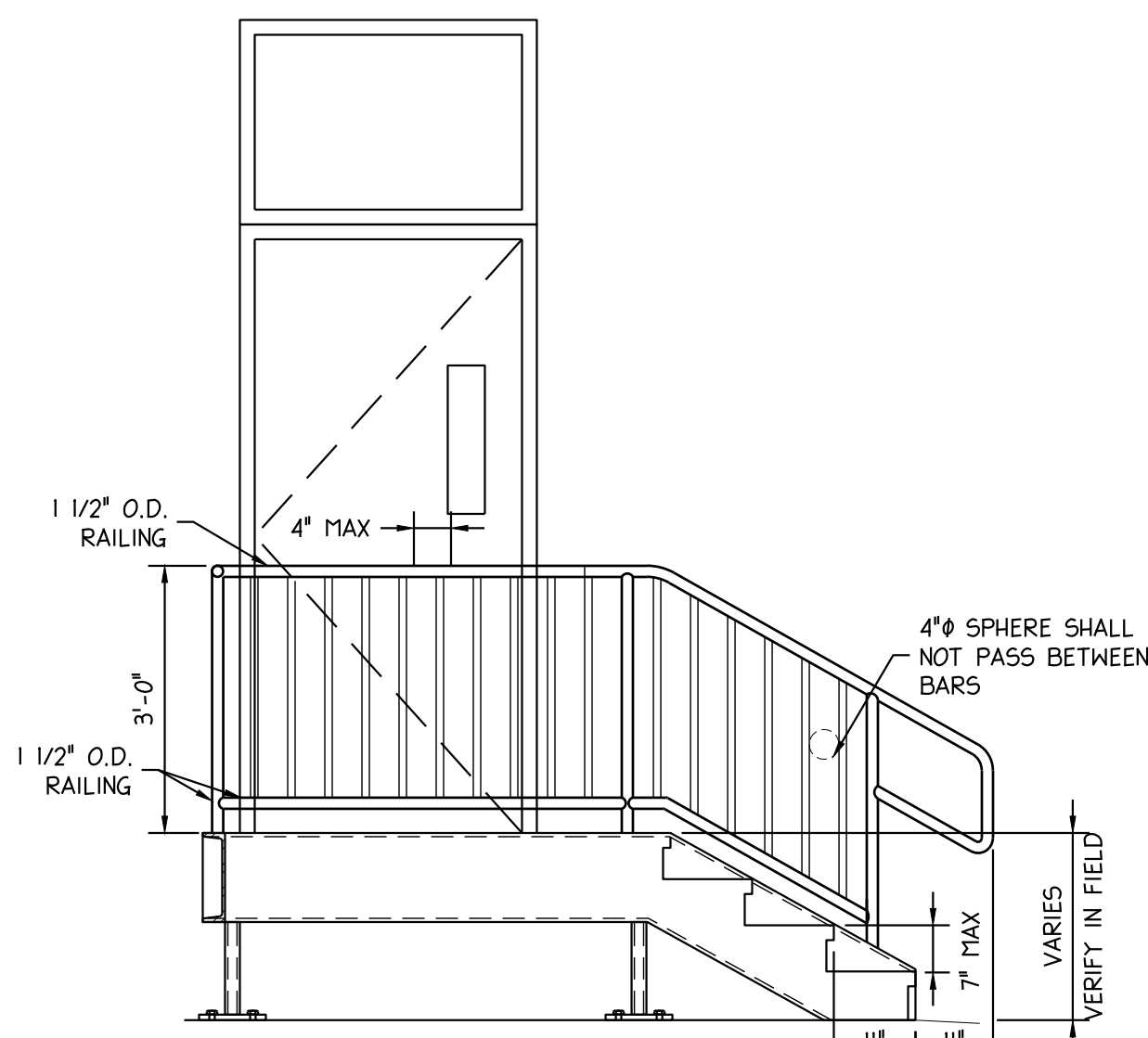
S1.0

BARRY ISETT & associates
MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS
610.398.0904
barryisett.com

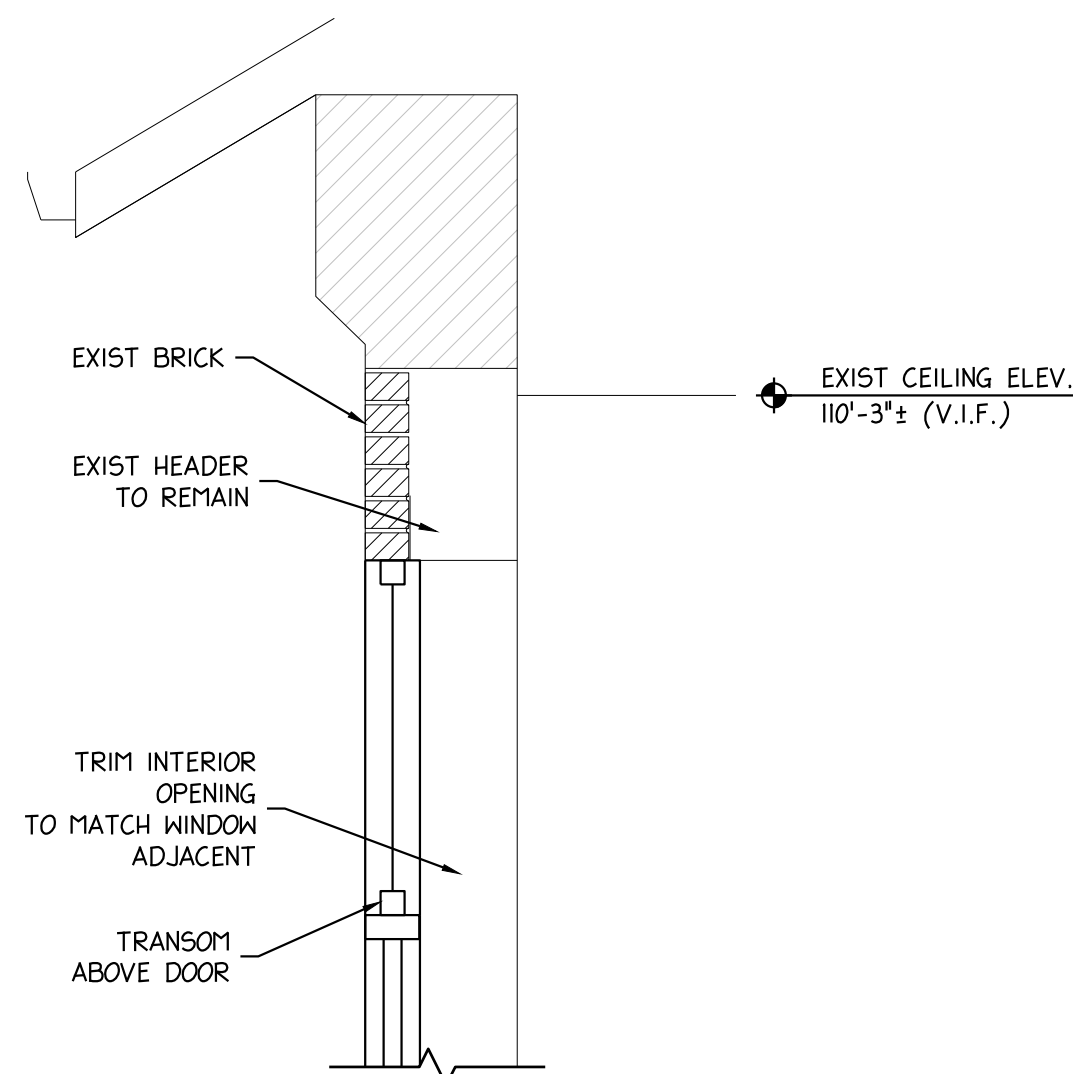


ENLARGED STAIR PLAN
SCALE: 1/2"=1'-0"

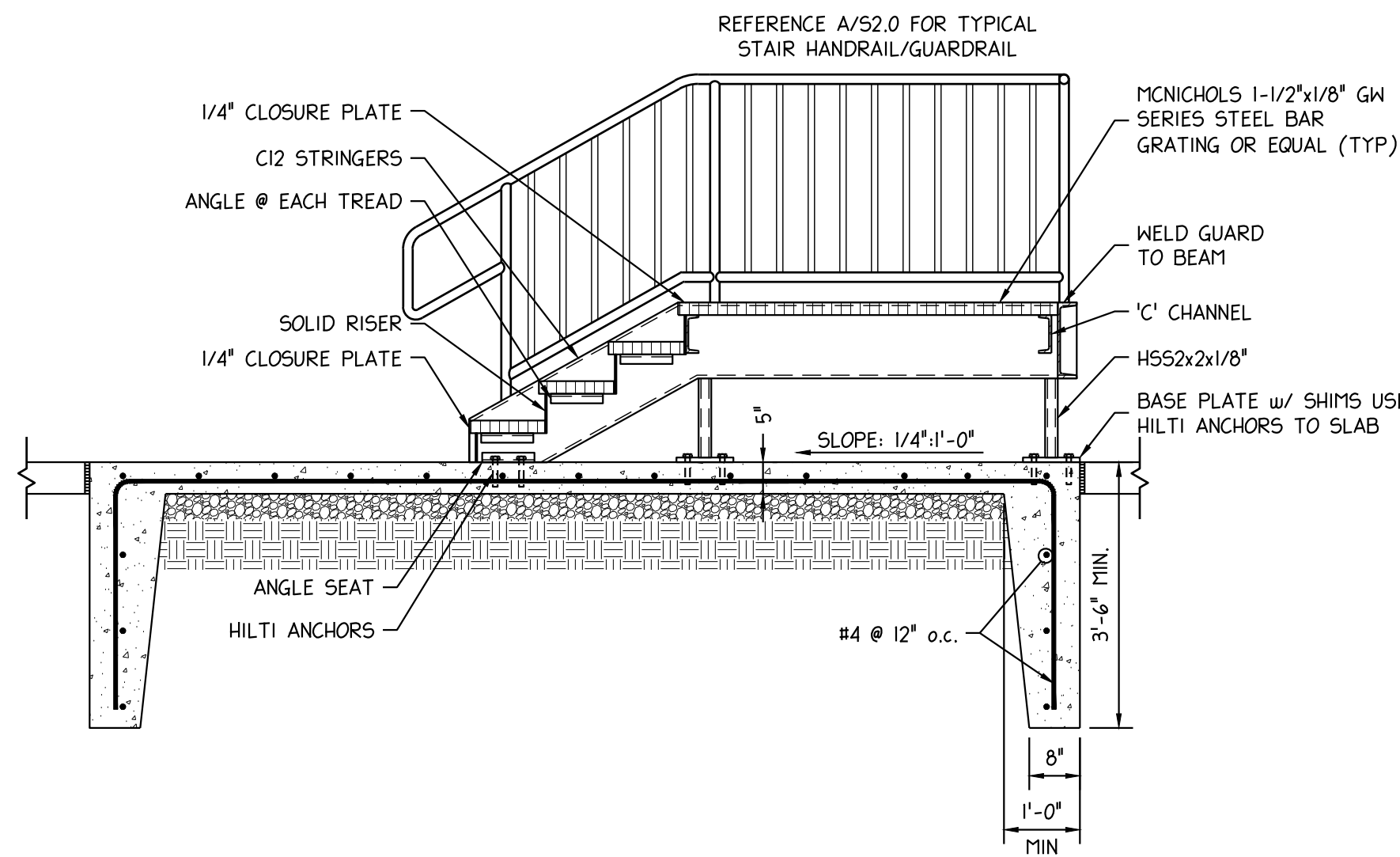
- NOTES:
- GRIND EXPOSED SURFACES SMOOTH.
 - FABRICATOR / DETAILER NOTE: FINAL HANDRAIL DESIGN AND CONSTRUCTION SHALL INCORPORATE ALL APPLICABLE CURRENT CODE REQUIREMENTS AND DETAILS. SECTION SHOWN IS FOR DESIGN INTENT ONLY.
 - WALKING SURFACES SHALL NOT PERMIT PASSAGE OF 1/2" DIA SPHERE.
 - PAINT: SW PRIMER PROINDUSTRIAL PRO CRYL; SHER-CRYL HPA SEMI GLOSS (2) COATS; COLOR TO MATCH BUILDING TRIM (BROWN)



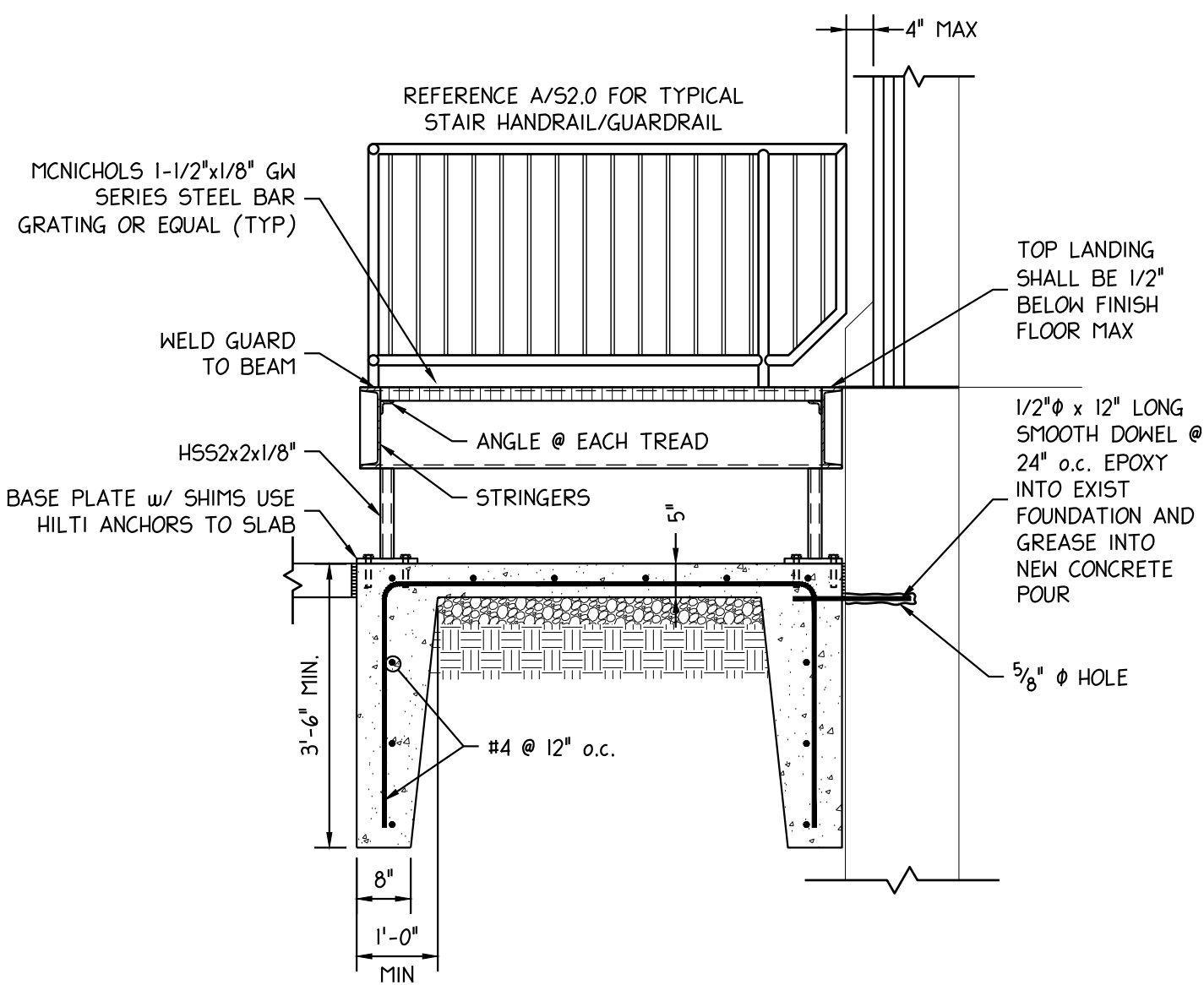
STAIR ELEVATION 'A'
SCALE: 1/2"=1'-0"



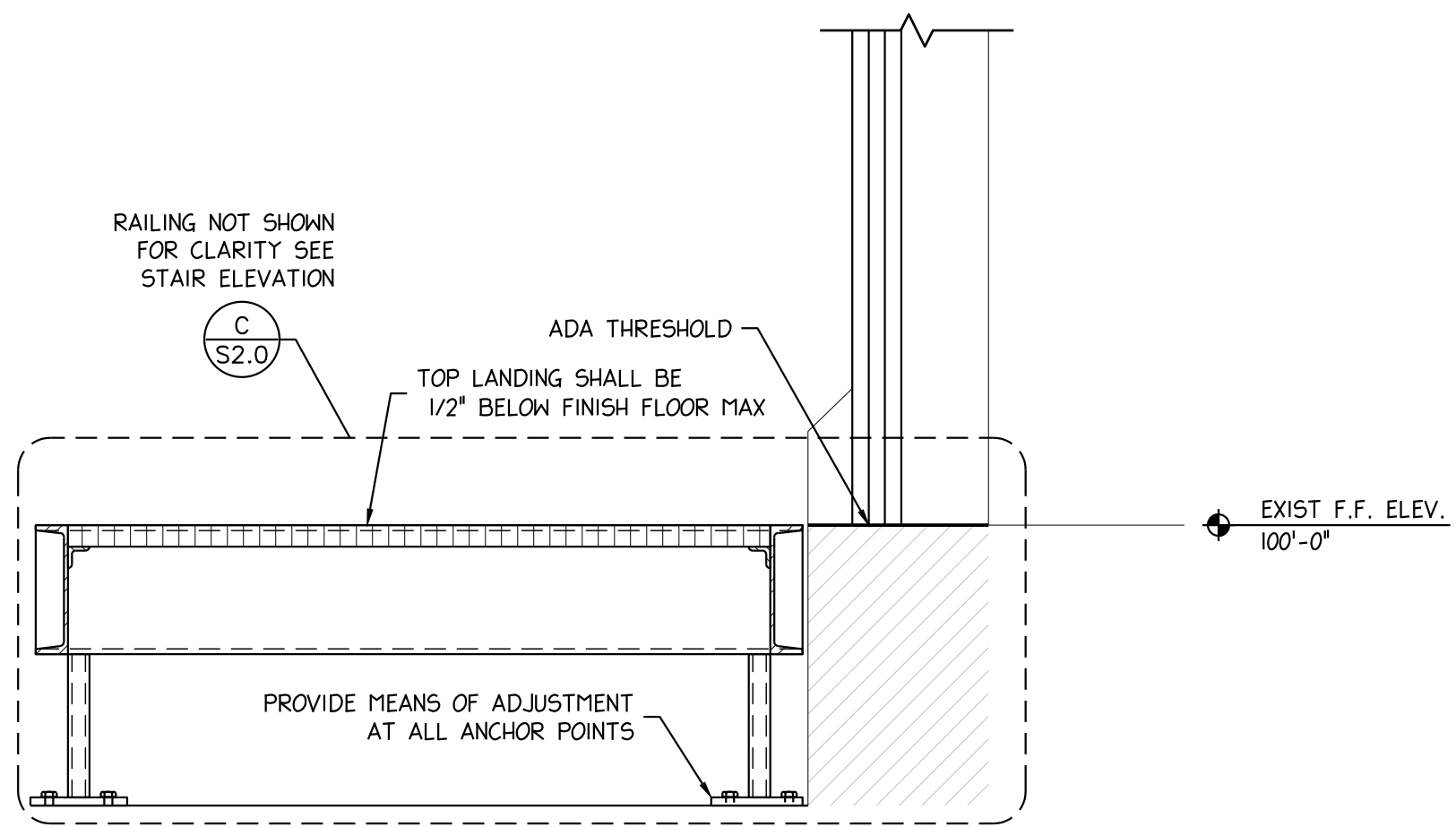
DOOR SECTION
SCALE: 3/4"=1'-0"



STAIR SECTION 'B'
SCALE: 1/2"=1'-0"



STAIR SECTION 'C'
SCALE: 1/2"=1'-0"



DOOR SECTION
SCALE: 3/4"=1'-0"

ISSUED
FOR BID
DATE: 12/06/2018

CONTRACTOR SHALL VERIFY ALL CONDITIONS
AND DIMENSIONS FOR THE ENTIRE PROJECT
BEFORE PROCEEDING WITH THE WORK.

ENLARGED STAIR PLAN, ELEVATIONS, AND SECTIONS

MEETING ROOM SECURITY
ALLEN TOWNSHIP
4714 INDIAN TRAIL ROAD
NORTHAMPTON, PA 18067

DATE:	12/06/2018	DSGN:	CN
SCALE:	AS NOTED	CHK:	JWC
DRAWN:	RPK	APPRD:	JWC
JOB:	362118.020	P MGR:	CN

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SHEET:

S2.0

BARRY
ISETT &
Associates
MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

610.398.0904
barryisett.com

REVISIONS	BY
DATE	

CONCRETE NOTES

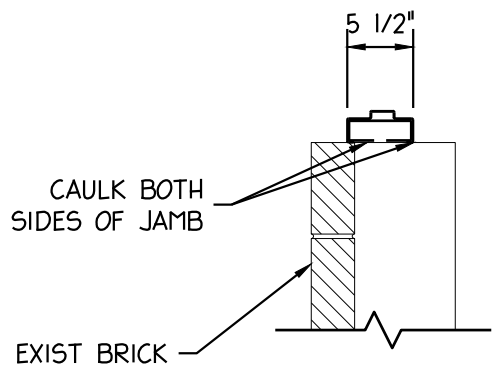
1. REINFORCED CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318), LATEST EDITION.
2. CONCRETE MATERIALS
CONCRETE SLABS
OTHER CONCRETE
F'c=4000 psi @ 28 DAYS
F'c=3000 psi @ 28 DAYS
3. REINFORCING MATERIALS:
REINFORCING BARS PLAIN-STEEL
REINFORCING BARS LOW-ALLOY-STEEL
REINFORCING BARS EPOXY-COATED
WELDED WIRE FABRIC
EPOXY-COATED WELDED WIRE FABRIC
ASTM A615, GRADE 60, DEFORMED
ASTM A706, DEFORMED
ASTM A775
ASTM A105
4. FORMWORK AND FORM ACCESSORIES SHALL BE ACCORDING TO ACI 301.
5. REINFORCING SHALL COMPLY WITH CRSI'S 'MANUAL OF STANDARD PRACTICE' FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT, AND THE FOLLOWING:
-REINFORCING BAR SPLICES SHALL BE IN ACCORDANCE WITH LATEST ACI 318 SPECIFICATIONS.
-HORIZONTAL REINFORCING BARS IN WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
-REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 44 BAR DIAMETERS.
-MINIMUM EMBEDMENT LENGTH SHALL BE 24 BAR DIAMETERS UNLESS OTHERWISE NOTED.
-MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
CONCRETE CAST AGAINST EARTH & PERMANENTLY EXPOSED
CONCRETE EXPOSED TO EARTH OR WEATHER
3"
2"
1 1/2"
#5 & LARGER
#5 & SMALLER
6. COLD-WEATHER PLACING SHALL COMPLY WITH THE PROVISIONS OF ACI-306R. THE USE OF CALCIUM CHLORIDE, SALT, AND OTHER MATERIALS CONTAINING ANTI-FREEZE AGENTS OR CHEMICAL ACCELERATORS SHALL NOT BE PERMITTED UNLESS OTHERWISE ACCEPTED IN THE MIX DESIGN.
7. HOT-WEATHER PLACING SHALL COMPLY WITH THE PROVISIONS OF ACI-305.

FOUNDATION NOTES:

1. FOUNDATION SOIL-BEARING PRESSURE 2000 PSF
2. FOUNDATION SHALL BE PLACED ON VIRGIN SOIL AT ELEVATIONS INDICATED ON DRAWINGS.
3. THE CONTRACTOR SHALL HAVE ALL BEARING STRATA APPROVED PRIOR TO PLACEMENT OF THE CONCRETE FOOTINGS.
4. INSTALL CRACK CONTROL OR CONSTRUCTION JOINTS AT 30-FOOT MAXIMUM CENTERS IN WALLS. LOCATIONS SHALL BE APPROVED BY ENGINEER.
5. TOP OF FOOTING ELEVATIONS ARE NOTED (000.00).
6. ALL TOPSOIL, SOIL FILL, AND SOFT SUBSOIL SHALL BE REMOVED AND, IF NECESSARY, REPLACED WITH COMPACTED LOAD-BEARING FILL MATERIALS. TEST PITS OR SOIL BORINGS SHALL BE CONDUCTED TO DETERMINE THE LOCATION OF THE VIRGIN SOIL.
7. ANY UNDERCUT AND REPLACEMENT WITH COMPACTED LOAD-BEARING FILL SHALL EXTEND Laterally BEYOND FOOTINGS A DISTANCE AT LEAST EQUAL TO THE DEPTH OF THE UNDERCUT.
8. AFTER UNDERCUTTING AND REMOVAL OF UNSUITABLE SOIL, THE EXPOSED UNDERLYING RESIDUAL SOILS IN THE PROPOSED BUILDING AREA SHALL BE PROOFROLLED AND COMPACTED. SOFT AND/OR UNSTABLE AREAS DISCLOSED BY THE PROOFROLLING SHALL BE ROLLED UNTIL STABILITY IS OBTAINED OR UNTIL FURTHER UNDERCUT FIRM MATERIAL IS REACHED.
9. FOOTINGS SHALL BE BASED ON STIFF SUBSOIL OR LOAD-BEARING FILL MATERIALS WITH A MINIMUM OF AT LEAST TWO FEET OR ONE-HALF THE FOOTING WIDTH, WHICHEVER IS GREATER, BELOW THE FOUNDATION BEARING LEVEL.
10. PLACE LOAD-BEARING FILL MATERIALS IN LAYERS NOT MORE THAN EIGHT INCHES IN LOOSE THICKNESS FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN FOUR INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. FILL MATERIAL SHALL BE MOISTENED OR AERATED AS NECESSARY.
11. EACH LIFT SHALL BE COMPACTED TO AN AVERAGE DRY DENSITY OF NOT LESS THAN 98% OF THE MAXIMUM DRY DENSITY ACCORDING TO ASTM D698 (STANDARD PROCTOR) FOR ALL FOOTING AND FLOOR SUBGRADES.
12. THE SUB-FLOOR MATERIALS SHALL CONSIST OF AT LEAST FOUR TO SIX INCHES OF GRAVEL OR CRUSHED STONE. THE SUB-FLOOR MATERIALS SHALL BE COMPACTED BY AT LEAST FOUR COVERAGES OF A HEAVY-DUTY VIBRATORY ROLLER OR UNTIL NO FURTHER COMPACTION IS OBSERVED. SEE THE DRAWINGS AND SPECIFICATIONS FOR THE VAPOR BARRIER SIZE, TYPE AND LOCATION.
13. IN AREAS WHERE SOFT/LOOSE ZONES OR POSSIBLE VOIDS EXIST AT DEPTH, NOTIFY THE STRUCTURAL ENGINEER IMMEDIATELY. SUCH AREAS SHOULD BE UNDERCUT AND REPLACED WITH COMPACTED LOAD-BEARING FILL, OR FLOWABLE CONCRETE FILL AS DIRECTED BY THE DESIGN PROFESSIONAL. IN ADDITION, FOOTINGS SHOULD BE OVERSIZED AND PROPORTIONED FOR A REDUCED ALLOWABLE BEARING CAPACITY, AS DETERMINED BY THE STRUCTURAL ENGINEER, TO BETTER DISTRIBUTE FOUNDATION LOADS AND SPAN ANY LOCALIZED SOFT/LOOSE ZONE OR VOID AREAS.

STRUCTURAL STEEL NOTES

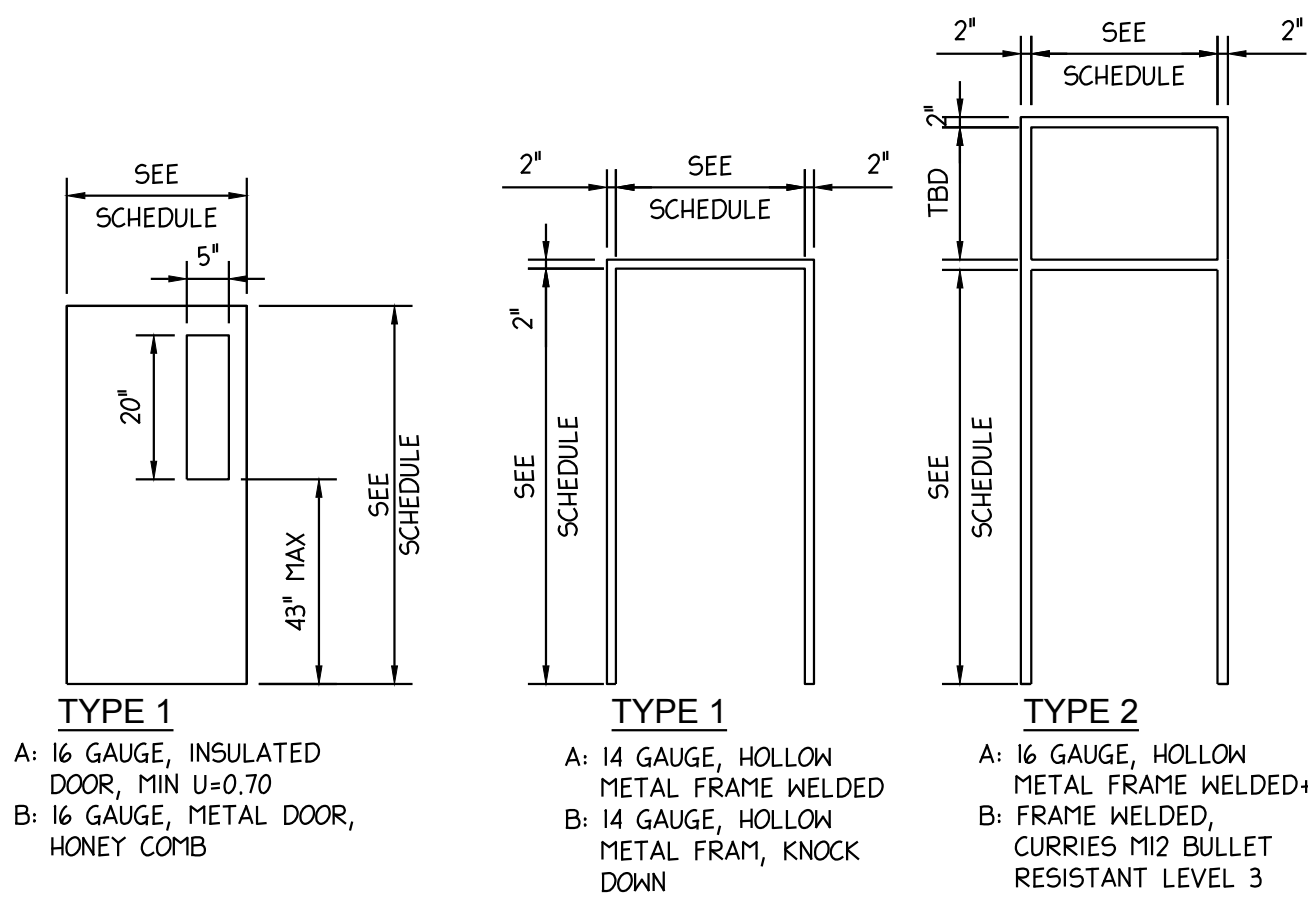
1. STRUCTURAL STEEL CONSTRUCTION SHALL BE IN ACCORDANCE WITH AISC'S 'CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES' AND 'SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN', LATEST EDITION.
2. STEEL MATERIALS:
W-SHAPES
CHANNELS, ANGLES
PLATE AND BAR
COLD-FORMED HOLLOW
STRUCTURAL SECTIONS
HOT-FORMED HOLLOW
STRUCTURAL SECTIONS
STEEL PIPE
ASTM A 992,
ASTM A 36,
ASTM A 36,
ASTM A 500,
ASTM A 501,
ASTM A 53,
GRADE B,
Fy=50,000 psi
Fy=36,000 psi
Fy=36,000 psi
GRADE B
Fy=46,000psi
Fy=46,000psi
TYPE E or S
Fy=36,000 psi
3. CONNECTOR MATERIALS:
BOLTS
ASTM F1554, GRADE 36, Fy=36,000 psi
4. ALL BEAM-TO-COLUMN CONNECTIONS SHALL BE AISC STANDARD FULL DEPTH CONNECTIONS, UNLESS NOTED OTHERWISE. WHERE REACTIONS ARE INDICATED ON THE DRAWINGS, THE CONNECTION SHALL BE PROVIDED BY THE FABRICATOR. DETAILS AND CALCULATIONS, PREPARED BY A LICENSED ENGINEER, SHALL BE PART OF THE SHOP DRAWING SUBMISSION.
5. ALL CONNECTIONS SHALL BE HIGH-STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS AND FIELD CONNECTIONS OF GIRTS FOR SHEAR SHALL BE UNFINISHED BOLTS.
6. ELEVATION OF TOP OF STEEL MEMBERS ARE NOTED (+ -).
7. STEEL JOISTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH LATEST AISC AND SJI SPECIFICATIONS.
8. JOIST BRIDGING SHALL BE DESIGNED AND INSTALLED ACCORDING TO THE LATEST SJI SPECIFICATIONS. BRIDGING SHALL NOT BE MODIFIED WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
9. METAL DECKING SHALL BE INSTALLED IN 3 SPAN CONDITIONS MINIMUM.



DOOR JAMB

JAMB DETAIL

SCALE: 3/4"=1'-0"



DOOR TYPES

FRAME TYPE

DOOR AND FRAME DETAILS

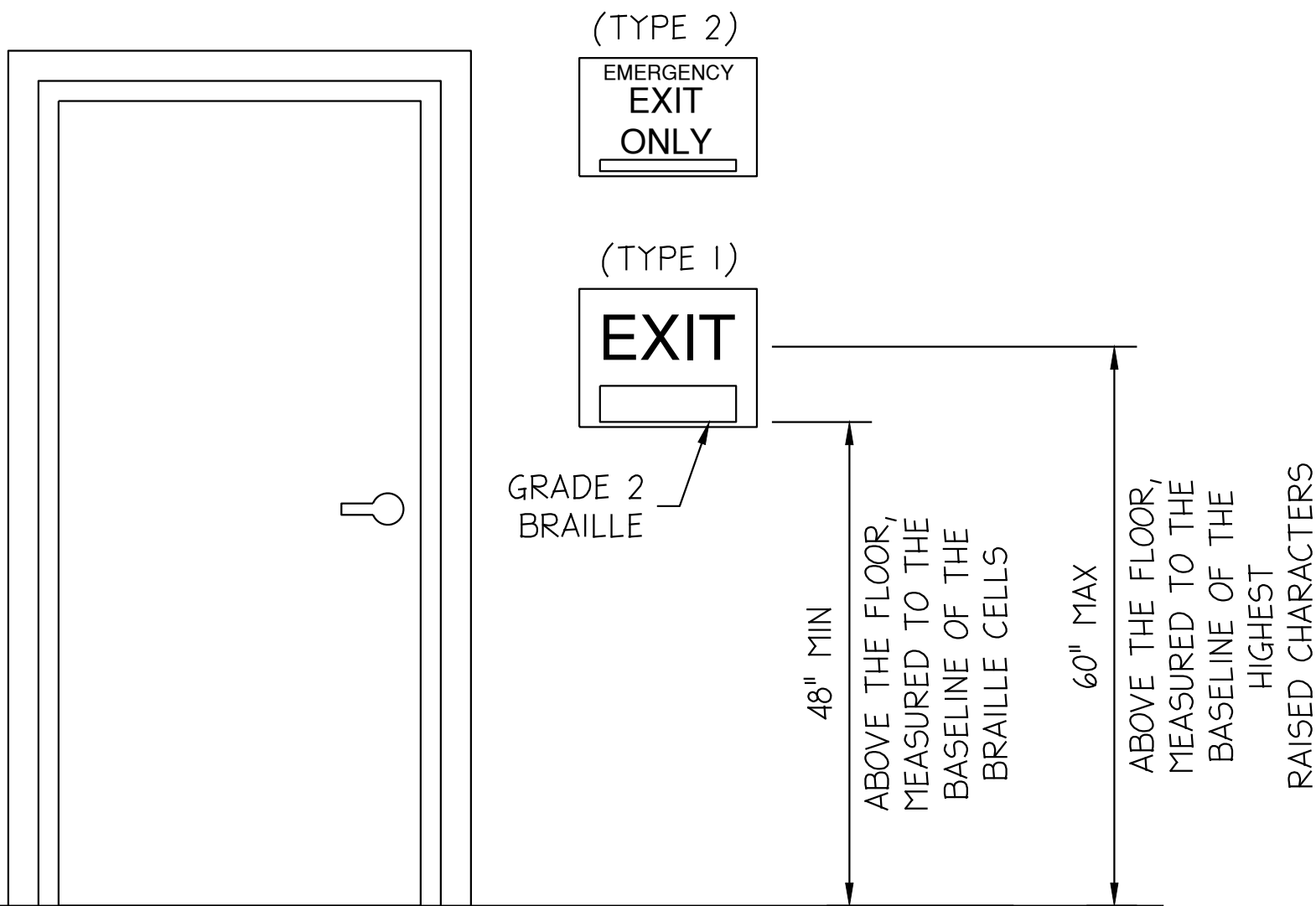
SCALE: N.T.S.

Door and Frame Schedule														
No.	Door Data							Fire Rating	Frame Data				HDM Set	Remarks
	Type	Material	Finish	Glass	Width	Height	Thickness		Type	Material	Finish	Jamb		
100A	1A	HM	PT-1	GL-1	3'-0"	7'-0"	1 3/4"	-	1B	HM	PT-1	DOOR	1	LOCK SYSTEM DURING MEETING DOOR SHALL BE UNLOCKED USING PUSH BUTTON. EXTERIOR TRIM WILL UNLOCK ALLOWING ENTRY BY LEVER. USING PUSH BUTTON AGAIN WILL LOCK OUTSIDE TRIM. KEY OVERRIDE. FREE EGRESS AT ALL TIMES.
100B	1A	HM	PT-1	GL-1	3'-0"	7'-0"	1 3/4"	-	2B	HM	PT-1	DOOR	2	5 5/8" METAL FRAME w/ INOPERABLE TRANSOM ABOVE, INSULATED GLASS

GL-1: CLEAR, TEMPERED IGU,
MIN. U-FACTOR <= .55, MIN. SHGC <= .40

Hardware Set	1	2
Hinges	H-1	H-2
Lockset	LS-1	LS-1
Dead Bolt	-	-
Panic Device	PD-1	PD-2
Flush Bolt	-	-
Strike	-	-
Closer	CL-1	CL-1
Threshold	-	TH-1
Weatherstripping	-	WS-1
Silencers	S-1	-
Wall Bumper	WB-1	-
Floor Stop	-	-
Card Reader	-	-
Kick Plate	KP-1	KP-1
Push / Pull	-	-

CL-1 CLOSER: P7500 689
H-1 HINGES: (3) TA2714 NRP 4-1/2" x 4-1/2" U526D
HINGES: (3) TA2714 OC8 4" x 4" U526D
H-2 HINGES: (3) TA2314 NRP 4-1/2" x 4-1/2" U532D
KP-1 KICK PLATE: K1050 10" x 34" U532D BEV C5K
LS-1 LOCKSET: APEX V4088A EXT. HANDLE SATIN ALUM OR APPROVED
EQUAL PROVIDE 4 KEYS TOTAL. KEYING TO MATCH OWNERS EXISTING SYSTEM.
PD-1 PANIC DEVICE: ELECTRIFIED RIM EXIT LC 8876-24V ETL U532D.
CYLINDER AS REQUIRED U526D.
ELETROLINX HARNESS QC-C1500P.
PUSH BUTTON PBEAR
PUSH BUTTON PB
POWER SUPPLY BPS-24-1
PD-2 PANIC DEVICE: ELECTRIFIED RIM EXIT LC 8876-24v ETL U532D.
CYLINDER AS REQUIRED U526D.
S-1 SILENCER: (3) 608-RKM
TH-1 THRESHOLD: 2005AV x 36" MSE52555
WB-1 WALL BUMPER: 409 U532D
WS-1 WEATHERSTRIPPING: 305CR x 36" x 84"



- TACTILE SIGNAGE SHALL BE PROVIDED AT EACH EXIT DOOR STATING EXIT AND SHALL COMPLY WITH ICC /ANSI A117.1
- TACTILE EXIT SIGNAGE SHALL BE MOUNTED ON LATCH SIDE OF EXIT DOOR
- TACTILE CHARACTERS SHALL BE RAISED 1/32" MINIMUM ABOVE THE BACKGROUND, 2" HIGH (MAXIMUM), UPPERCASE, SANS SERIF AND MEET ALL OTHER REQUIREMENTS OF SECTION 703 IN ICC/ANSI A117.1.
- ALL DIMENSIONS SHALL BE MEASURED FROM FINISHED FLOOR AND FINISHED WALL.

TACTILE EXIT SIGNAGE

N.T.S.

Paint Schedule	
Mark	Comment
PT-1 (DOORS & FRAMES)	EXTERIOR DOORS AND TRIM: BASIS OF DESIGN SW EMERALD EXTERIOR ACRYLIC LATEX. COLOR AS CHOSEN BY OWNER. PROVIDE (2) COATS. INTERIOR DOORS AND TRIM: BASIS OF DESIGN SW EMERALD INTERIOR ACRYLIC LATEX. COLOR AS CHOSEN BY OWNER. PROVIDE (2) COATS. SILICONE LATEX PAINTABLE CAULK. COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURERS RANGE OF COLORS.
PT-2 (WALL)	BASIS OF DESIGN SHERWIN WILLIAMS PROMAR 200 INTERIOR WATERBASED ACRYLIC-ALKYD. COLOR TO MATCH EXISTING.

ISSUED
FOR BID
DATE: 12/06/2018

CONTRACTOR SHALL VERIFY ALL CONDITIONS
AND DIMENSIONS FOR THE ENTIRE PROJECT
BEFORE PROCEEDING WITH THE WORK.

SCHEDULES, NOTES, AND DETAILS

MEETING ROOM SECURITY
ALLEN TOWNSHIP
4714 INDIAN TRAIL ROAD
NORTHAMPTON, PA 18067

DATE: 12/06/2018	DSGN: CN
SCALE: AS NOTED	CHK JWC
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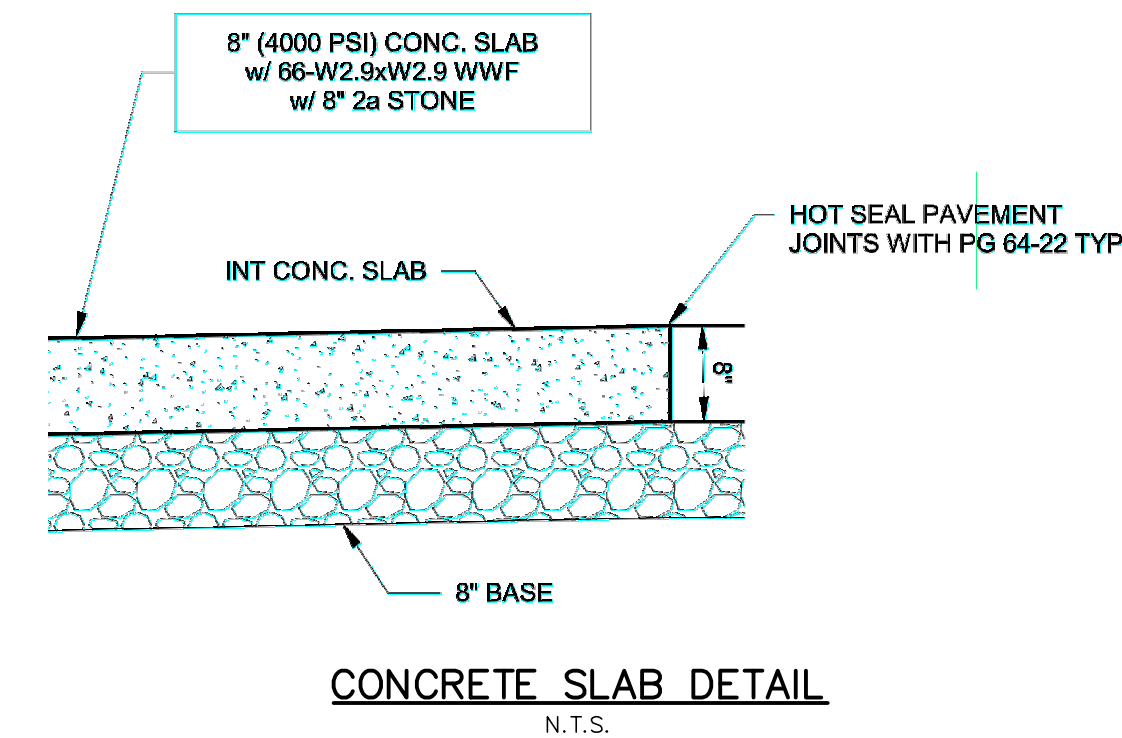
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NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

DATE:	09/04/19	DSGN:	SGW
SCALE:	1"=30'	CHK:	SGW
DRAWN:	JAZ	APPRD:	RJC
JOB:	362118.004	P MGR:	SGW
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SHEET: 1 OF 1			

GP-1

2021 Allen Township Public Works Capital Equipment Inventory

AT#	TRUCK/EQUIPMENT
101	2020 Ford F350 Dump W/Plow
103	2006 Freightliner Dump 10 ton w/plow
104	2011 Ford F550 Dump 3.5 ton w/plow
105	2019 Chevrolet Pickup w/plot
106	2005 Ford Explorer
107	2000 Mack Dump 16 ton w/plow
107.1	Dumpster
107.2	Flatbed
108	2016 Ford F450 Utility with Plow
109	2018 Ram Pickup
110	2008 Mack 16 Ton Dump w/plow
111	2013 Mack 16 Ton Dump w/plow
112	2009 Peterbuilt Dump w/plow
113	2019 Freightier/Elgin Sweeper
200	2003 CAT 430D Back-Hoe
200.1	2006 Cat Broom
201	2017 John Deere Loader
201.1	2017 John Deere 554K Loader
202	John Deere 672CH Grader
203	2015 John Deere 6125 Tractor
203.2	2006 Kuhn Flail Mower
204	Gradall G3WD
205	1998 Wolfpac Roller 3100
206	1990 Case Tractor
206.1	Kuhn Rotary Shoulder Mower
206.2	John Deere 272 Grooming Mower
206.3	3 point hitch auger
206.4	3 point hitch york rake
207	2012 Bobcat T630 skidsteer w/bkt & forks
207.1	2' milling head for skidsteer
207.2	Bobcat Snow Blower Attachment
207.3	Bobcat 80" Brushcat
208	2009 Sakia Roller
256	1997 LeeBoy Paver
209	2006 Exmark 60" Mower
210	2006 Exmark 60" Mower

211	2006 Exmark 48" Mower
212	2017 Exmark 72" Mower
213	Honda Mower (Park)
214	Bandit 250 XDChipper
215	2006 Craftco Crack Sealer
216	2009 Airman PDS185S compresor
217	Toro Workman (infield gromer)
218	2013 Toro GroundsMaster4000 11' mower
219	2017 ExMark Lazcrz 72" Mower
300	Partner K700 14" cut saw
301	Stihl 026 16" chainsaw
301A	Stihl MS260 20" chainsaw
302	Stihl 024AV 16" chainsaw
302A	Stihl MS290 20" chainsaw
303	Stihl 009 13" chainsaw
303A	Stihl MS192TC chainsaw
304	Stihl MS192T 13" chainsaw
306	Stihl TS420 14" Chop Saw
306	Stihl MS192 TC chainsaw
307	Ecco Pole Saw
308	ICS concrete saw
309	Black and Decker 16" hedge trimmer
310	2008 Stihl 20" farm boss chain saw
311	Stihl BG65 Blower
312	Stihl BR550-Z Blower
313	Ecco PB-250 blower
314	Stihl FS120 Trimmer
315	Stihl FS90 R Trimmer
316	Stihl FS100 RX Trimmer
317	Target 16" Street Saw
317	Stihl transformer weed wacker w/atchs.
318	2006 Wacker Vibe-Plate
319	Wacker Jumping Jack
320	Ingersal Rand Jumping Jack
321	Honda 3" Pump
322	Honda 2" Pump
323	Honda Generator EG2200X
324	Honda generator EV200i
325	Stihl FS 130 R trimmer
326	2009 Graco line stripper
327	Miller Welder (trailer mounted)
328	Columbia Snow Blower

329	Harbor Freight Cement Mixer (elect)
330	Fimco 200 gal. ag. Sprayer 2011
400	2007 Dayton 400,000btu heater
401	2007 Craftsman 3000psi. Press. washer
402	2006 Hottsy Steam Pressure washer
403	Ingersal Rand Air compressor (shop)
404	Craftsman Air compressor (upper shop)
405	Sears/ Craftsman drill press (shop)
406	Miller Welder (shop)
407	2006 Dayton Band saw
408	2006 Craftsman Table saw (shop)
409	2006 Craftsman Miter saw (shop)
410	2007 Central Pneumatic blaster (shop)
411	Dayton 6,000 lbs. pallet jack
412	Mac Tools battery charger
413	Brut Sand Blaster
415	Titan airless paint spayer
416	Kawasaki 14" elect. Chopsaw (shop)
417	Miller Plasma Cutter (shop)
418	Dayton 170,000 btu heater (shop)
420	
421	2014 Honda EU2000i AC Generator
422	2014 Honda EU2000i AC Generator
423	John Deer 212 Lawn & Garden Tractor
900	Large trailer (yellow)
901	Interstate Trailer 8000 lbs.
902	2006 Belmont Trailer 12,000 lbs.
903	EZ Dumper trailer (mowers)

LEASE AGREEMENT

Allen Township & Allen Township Fire Company No. 1

3530 Howertown Road, Northampton PA

THIS AGREEMENT made this 30th day of August, 2021, between
THE TOWNSHIP OF ALLEN, a Township of the Second Class, with municipal offices located at
4714 Indian Trail Road, Northampton, Pennsylvania, 18067 (hereinafter referred to as
"TOWNSHIP");

AND

ALLEN TOWNSHIP FIRE COMPANY NO. 1, with its principal offices located at 3530
Howertown Road, Northampton, Pennsylvania 18067; (hereinafter referred to as "Fire Company"),

WITNESSETH:

WHEREAS, the TOWNSHIP, is the owner of certain property located at 3530
Howertown Road in Allen Township, Northampton County, Pennsylvania (the "Property"); and

WHEREAS, the Township acquired the Property from the Fire Company on _____,
2021, for nominal consideration with the understanding that the Fire Company would be allowed to
continue to use a portion of the Property for its firefighting, training, and administrative operations;
and

WHEREAS, the Fire Company provides fire protection services for the residents of Allen
Township and the surrounding communities; and

WHEREAS, the Fire Company has requested the continued use of the Property now
owned by the Township for the purpose of continuing to serve the community; and

WHEREAS, the Township desires to assure the continued housing of the Fire Company by
providing space at the Property for use by the Fire Company to store equipment, train, hold
meetings, and continue to provide firefighting services; and

WHEREAS, the TOWNSHIP and the Fire Company find it mutually beneficial and in the public interest for the Fire Company to continue to operate from the Property; and

WHEREAS, the purpose and intent of this Agreement is to allow the TOWNSHIP and the Fire Company to develop a sustainable plan for the continued use of the improvements and facilities at the Property by the Fire Company.

NOW THEREFORE, in consideration of the mutual covenants and agreements described herein, the adequacy of which is acknowledged by the Parties, and intending to be legally bound, the Parties agree as follows:

1. The above WHEREAS recitals are incorporated herein by reference and form a part of this Agreement

2. The Parties hereto agree that it is to their mutual benefit, and the benefit of the citizens of the TOWNSHIP, to enter into this Agreement to allow the TOWNSHIP and the FIRE COMPANY to develop a sustainable plan for the continued use of the Property by the FIRE COMPANY for the continued provision of firefighting services to the community.

3. The term of this Agreement shall begin on _____, 2021, and shall expire on _____, 2071; provided that in the event the FIRE COMPANY dissolves or ceases to provide firefighting services to the residents of Allen Township, the TOWNSHIP shall have the right to terminate this Agreement, upon giving the FIRE COMPANY a minimum of two (2) months notice of its intent to do so.

4. For and in consideration of the payment of One Dollar (\$1.00) per year which shall be payable to the TOWNSHIP on the 1st day of February of each calendar year, as well as the FIRE COMPANY'S promise regarding continuing maintenance, and other obligations, as set forth herein, the TOWNSHIP hereby leases to the FIRE COMPANY the garage area, associated parking facilities, outdoor training facilities, rest rooms, and space to conduct training and meetings at the Property (the "Fire Company Facilities"), for the term listed in paragraph 3 herein, subject to the terms and conditions herein stated.

5. The FIRE COMPANY will continue to maintain, for the term of this Agreement and at its sole expense, the garage area and outdoor training facilities located on the Property.

6. The FIRE COMPANY shall have the right to use the Fire Company Facilities for the term of this Agreement, provided that scheduling of meetings and indoor training by the Fire Company shall not interfere with the Township's use of the Property. In the event that the TOWNSHIP determines that it is no longer feasible for the FIRE COMPANY to use the Property in the manner contemplated herein, the TOWNSHIP shall have the sole right to terminate this Agreement, provided that the TOWNSHIP provides the FIRE COMPANY, with suitable, mutually agreed, equivalent or better space at another TOWNSHIP owned property for the Fire Company Facilities.

7. The TOWNSHIP will maintain the Property per this Agreement, with the exception of the garage area and outdoor training facilities; and will be responsible for all utilities and other services provided by outside vendors to the Property. The TOWNSHIP shall be responsible for the maintenance of sanitary sewer and water services to the Property.

8. In the event that the FIRE COMPANY desires to make any future improvements to the Property, it shall contact the TOWNSHIP and receive approval from the Allen Township Board of Supervisors, which approval shall be granted or withheld in the sole and absolute discretion of the Board of Supervisors. Any and all improvements, approved by the TOWNSHIP, and made by the FIRE COMPANY to the Property shall immediately become the property of the TOWNSHIP.

9. The TOWNSHIP shall retain sole legal title to the Property and all improvements and facilities located thereon (upon disposal or sale of non-essential improvements to the property (commercial kitchen and associated refrigeration systems). The TOWNSHIP shall have no obligation or responsibilities relative to the operation of the FIRE COMPANY or the provision of firefighting services to the community others than those imposed by the laws of the Commonwealth of Pennsylvania. The FIRE COMPANY and TOWNSHIP agree that the FIRE COMPANY is an independent organization and is not a part of the TOWNSHIP, nor an affiliate or subsidiary of the TOWNSHIP.

10. The FIRE COMPANY agrees to indemnify, defend save, and hold harmless the TOWNSHIP, its officials, employees, volunteers, and agents from any and all liability, demands, claims, causes of action, suits, or judgments, including costs, attorney fees, and expenses incurred in

connection therewith, or whatsoever kind or nature, arising out of, or in connection with, or incident to, the performance of this Agreement by the FIRE COMPANY, except for those damages caused by or arising out of the negligence, wrongful, or willful misconduct of the TOWNSHIP, its officials, employees, volunteers, and agents.

The TOWNSHIP agrees to indemnify, defend save, and hold harmless the FIRE COMPANY, its officials, employees, volunteers, and agents from any and all liability, demands, claims, causes of action, suits, or judgments, including costs, attorney fees, and expenses incurred in connection therewith, or whatsoever kind or nature, arising out of, or in connection with, or incident to, the performance of this Agreement by the TOWNSHIP, except for those damages caused by or arising out of the negligence, wrongful, or willful misconduct of the FIRE COMPANY, its officials, employees, volunteers, and agents.

The TOWNSHIP shall not be liable for any damage or injury to the FIRE COMPANY or any member of the organization participating in firefighting, training, or related activities or any other person, or damage to any property, occurring on the Property or any part thereof, and the FIRE COMPANY agrees to release, quitclaim, discharge, indemnify, defend and hold harmless the TOWNSHIP, its officers, directors, employees, agents, successors and assigns from and against any and all loss, liability, personal injury or any damages, demands, claims, suits, fines, penalties or causes of action whatsoever, caused by, resulting from, or in any way related to its use of the Property. It is the intent of this paragraph 10 that each Party shall remain responsible and liable for the actions of its officials, employees, volunteers, and agents relative to the Property as that term is described herein.

The TOWNSHIP shall not hinder or limit the FIRE COMPANY's ability to perform its normal and routine functions, including fire prevention, fund raising, community outreach, etc. including functions on the TOWNSHIP property, both indoor and outdoor, provided the listed functions do not conflict with Township uses or activities.

11. The TOWNSHIP agrees to carry and maintain all insurance required by law in an amount necessary to insure all TOWNSHIP activities and obligations arising out of the terms of this Agreement. Nothing contained in this Agreement shall be construed as waiving any of the limitations and immunities available at law to the TOWNSHIP.

12. The FIRE COMPANY shall require background checks of all board members, officials, other members, and volunteer fire fighters to the extent required by Pennsylvania law. Copies of those background checks shall be filed with the Township.

13. All notices, demands, or requests which may or are required to be given by one or more Parties to this Agreement shall be given in writing by United States registered or certified mail to the address of the Party listed above.

14. The Parties hereto intend to be legally bound by the terms of this Agreement, and this Agreement shall extend to and bind the successors or assigns of said Parties. This Agreement may not be assigned without the written consent of both Parties.

15. There are no oral agreements between the Parties affecting the meaning, content, purpose, or effect of this Agreement. The provisions of this Agreement may only be amended with the mutual, written consent of both Parties. In the event any provision of this Agreement shall be held invalid by a Court of competent jurisdiction, the remainder of this Agreement shall not be affected thereby, it being the intent of the Parties that the remainder of the provisions of this Agreement be enforceable.


16. The laws of the Commonwealth of Pennsylvania shall govern the validity, performance, interpretation, and enforcement of this Agreement. Should either Party institute litigation for enforcement or interpretation of any provision contained herein, the venue for such litigation shall be in Northampton County, Pennsylvania.

IN WITNESS WHEREOF, the parties hereto, intending to be legally bound, have executed this Agreement the day and year aforesaid.

ATTEST:


Secretary

ALLEN TOWNSHIP
BOARD OF SUPERVISORS


(NAME AND TITLE) *member*
Bruce Frack, Allen Township
Supervisor

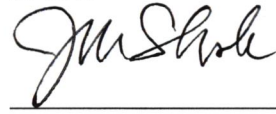
05/26/21

(TOWNSHIP SEAL)

ATTEST:



ALLEN TOWNSHIP FIRE COMPANY
NO. 1

 PRESIDENT

(NAME AND TITLE)

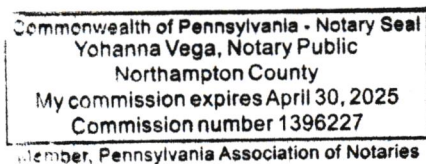
COMMONWEALTH OF PENNSYLVANIA


SS:

COUNTY OF NORTHAMPTON

On this 30th day of August, 2021, before me, a Notary Public, personally appeared Bruce Frack who acknowledged himself to be ~~the~~ a member of the Board of Supervisors of the TOWNSHIP OF ALLEN and that he as such officer, being authorized to do so, executed the foregoing agreement for the purposes herein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.




Notary Public Yohanna Vega

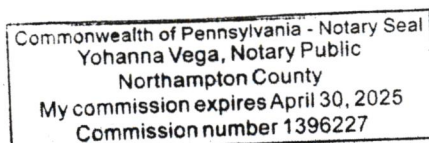
COMMONWEALTH OF PENNSYLVANIA

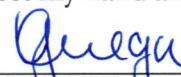
SS:

COUNTY OF NORTHAMPTON

On this 30th day of August, 2021, before me a Notary Public, personally appeared Sacob Schock, who acknowledged himself to be the President of the the ALLEN TOWNSHIP FIRE COMPANY NO. 1, and acknowledged that he executed the same for the purposes herein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.




Notary Public Yohanna Vega